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LANDSCAPE ABBREVIATIONS	
Key Name	Comments
AL	ALUMINUM
ANC	ANCHOR
&	AND
L	ANGLE OR L-SHAPE
ASPH	ASPHALT
@	AT
AVG	AVERAGE
BC	BEGINNING OF CURVE (ASSOCIATED WITH NORTHING/EASTING COORDINATES)
BETW	BETWEEN
BYD	BEYOND
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
BLDG	BUILDING
CIP	CAST IN PLACE
CTR	CENTER
CL	CENTERLINE
COS	CITY OF SEATTLE
CLR	CLEAR, CLEARANCE
CMU	CONCRETE MASONRY UNIT
CJ	CONSTRUCTION JOINT
CONT	CONTINUOUS
CJ	CONTROL JOINT
CRZ	CRITICAL ROOT ZONE
CF	CUBIC FEET
CY	CUBIC YARD
DTL	DETAIL
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
DIM	DIMENSION
DWG(S)	DRAWING(S)
EW	EACH WAY
E	EAST, EASTING
EL	ELEVATION
E.O.C.	END OF CONCRETE
EC	END OF CURVE (ASSOCIATED WITH NORTHING/EASTING COORDINATES)
EQ	EQUAL, EQUALIZATION
EX	EXISTING
EJ	EXPANSION JOINT
FOW	FACE OF WALL
FG	FINISH GRADE
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
GAL	GALLON
GPM	GALLONS PER MINUTE
GALV	GALVANIZED
HP	HIGH POINT
IN	INCH (ES)
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
JT	JOINT
JST	JOIST
LA	LANDSCAPE ARCHITECT
LH	LEFT HAND
LOW	LIMIT OF WORK
LF	LINEAR FEET
LP	LOW POINT
MFR	MANUFACTURER
MHHW	MEAN HIGH HIGH WATER
MLW	MEAN LOW WATER
MLLW	MEAN LOWER LOW WATER
NE	NORTHEAST
NW	NORTHWEST
NIC	NOT IN CONTRACT
NTC	NOT TO SCALE
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
PKG	PACKAGE
POB	POINT OF BEGINNING
PI	POINT OF INTERSECTION
POC	POINT ON CURVE
PT	POINT, POINT OF TANGENCY
PSF	POUNDS FORCE PER SQUARE FOOT
PSI	POUNDS FORCE PER SQUARE INCH
QTY	QUANTITY
RAD	RADIUS
RC	REINFORCED CONCRETE
RH	RIGHT HAND
ROW	RIGHT OF WAY
RPZ	ROOT PROTECTION ZONE
SCH	SCHEDULE
SEC	SECTION
SPEC	SPECIFICATIONS
SQ	SQUARE
SF	SQUARE FOOT
SSTL	STAINLESS STEEL
STL	STEEL
T.O.	TOP OF
TB	TOP OF BENCH
TOC	TOP OF CONCRETE
TC	TOP OF CURB
TOG	TOP OF GRATING
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
VIF	VERIFY IN FIELD
VERT	VERTICAL
WF	WIDE FLANGE
WI	WITH
W/O	WITHOUT
WD	WOOD

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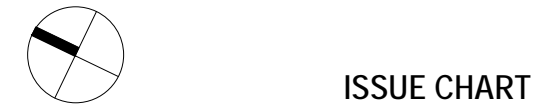
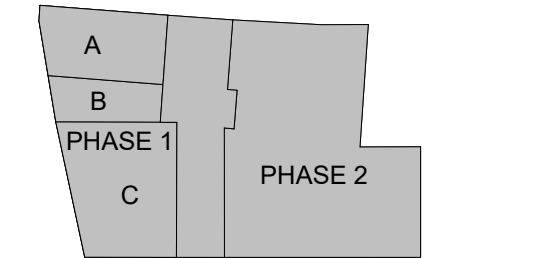
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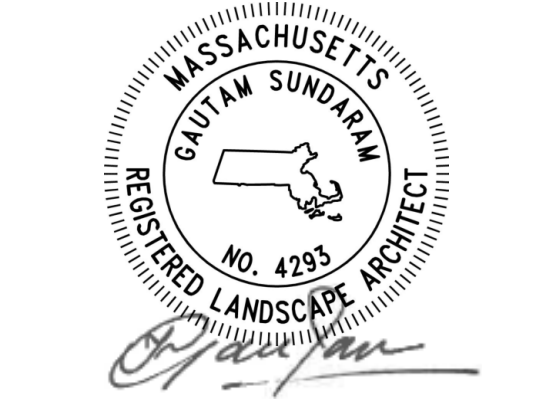


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KEYPLAN



ISSUE CHART



ISSUE	DATE
Job Number	2206
TITLE	

COVER SHEET

SHEET NUMBER

L000





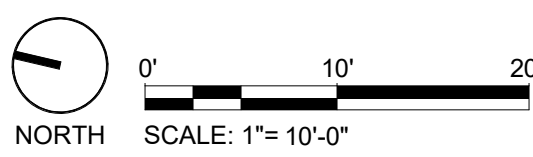
1 SITE PLAN  
1" = 10'-0"

LANDSCAPE GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK.
2. DO NOT SCALE OFF DRAWINGS. USE DRAWINGS DIMENSIONS ONLY. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO THE BEGINNING OF WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE WORK HAS BEGUN.
3. EXISTING CONDITIONS SHOWN ON PLANS IS BASED ON SURVEY PERFORMED ON APRIL 1, 2020 BY FELDMAN LAND SURVEYORS. CONTRACTOR SHALL REVIEW PLANS, SPECIFICATIONS, AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT PROJECT SITE.
4. ALL WORK PERFORMED IN A PUBLIC RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF LOCAL ZONING. THE CONTRACTOR SHALL MAINTAIN ALL NEW AND EXISTING UTILITIES IN GOOD WORKING ORDER AND PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
5. PRESERVE AND PROTECT ALL EXISTING STRUCTURES, FURNISHINGS, SURFACE MATERIALS, ABOVE AND BELOW - GRADE UTILITIES, FOOTINGS AND VEGETATION INDICATED TO REMAIN WITHIN AND ADJACENT TO LIMIT OF WORK DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
6. THE EXISTENCE AND LOCATIONS OF EACH AND EVERY UNDERGROUND UTILITY IS NOT GUARANTEED AND UNDOCUMENTED CONDITIONS MAY EXIST. COORDINATE WITH LANDSCAPE ARCHITECT AND CIVIL ENGINEER FOR LOCATIONS OF UTILITIES NOT SHOWN ON THE BASE DRAWING INCLUDING, BUT NOT LIMITED TO, HIGH VOLTAGE ELECTRIC LINES, ABANDONED STEAM LINES, ABANDONED WATER LINES, TELEPHONE, CABLES, ETC. STAKE OUT LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. ANY UTILITY THAT IS DAMAGED DURING SITE WORK OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. REFER TO CIVIL DRAWINGS FOR UTILITY LOCATIONS.
7. MAINTAIN VEHICULAR TRAFFIC AND PEDESTRIAN CIRCULATION TO AND AROUND THE SITE. MAINTAIN CLEARLY MARKED PEDESTRIAN ACCESS TO AREAS ON-SITE NOT AFFECTED BY CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY STRUCTURES AS REQUIRED TO MEET PROPOSED GRADES, INCLUDING DRAIN INLETS, MANHOLES, AND LIGHT POLE BASES. CONTRACTORS SHALL MEET EXISTING GRADES AT ALL EDGES OF LIMIT OF WORK.
9. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY MEASURES TO PREVENT SOIL EROSION. APPROVED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSTALLED BEFORE SITE CLEANING AND SITE GRADING OPERATIONS BEGIN.

LEGEND

- LIMIT OF WORK
- - - LOT LINE
- EXISTING TREE TO REMAIN
- ⊕ PROPOSED TREE
- ⊕ PROPOSED SHRUB
- ⊕ PLANTED AREA
- STONE SITE WALL
- WOOD BENCH WITH BACKREST



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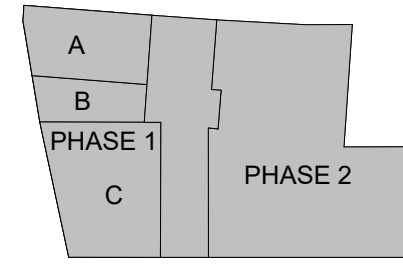
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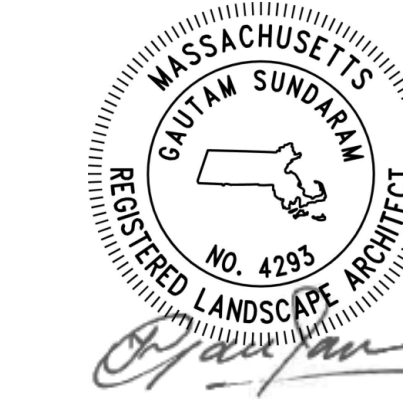


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KEYPLAN



ISSUE CHART



WORK	ISSUE	DATE
Job Number		2206
		TITLE

SITE PLAN

SHEET NUMBER

L100





1 PLAZA DEMOLITION PLAN  
1" = 10'-0"

DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK.
2. EXISTING CONDITIONS SHOWN ON PLANS IS BASED ON SURVEY PERFORMED ON APRIL 1, 2020 BY FELDMAN LAND SURVEYORS. CONTRACTOR SHALL REVIEW PLANS, SPECIFICATIONS, AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT PROJECT SITE.
3. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST REVIEW ALL DOCUMENTATION AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
4. DO NOT SCALE OFF DRAWINGS. USE DRAWINGS DIMENSIONS ONLY. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO THE BEGINNING OF WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE WORK HAS BEGUN.
5. PRESERVE AND PROTECT ALL EXISTING STRUCTURES, FURNISHINGS, SURFACE MATERIALS, ABOVE AND BELOW-GRADE UTILITIES, FOOTINGS AND VEGETATION INDICATED TO REMAIN WITHIN AND ADJACENT TO LIMIT OF WORK DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
6. THE EXISTENCE AND LOCATIONS OF EACH AND EVERY UNDERGROUND UTILITY IS NOT GUARANTEED AND UNDOCUMENTED CONDITIONS MAY EXIST. COORDINATE WITH LANDSCAPE ARCHITECT AND CIVIL ENGINEER FOR LOCATIONS OF UTILITIES NOT SHOWN ON THE BASE DRAWING INCLUDING, BUT NOT LIMITED TO, HIGH VOLTAGE ELECTRIC LINES, ABANDONED STEAM LINES, ABANDONED WATER LINES, TELEPHONE, CABLES, ETC. STAKE OUT LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. ANY UTILITY THAT IS DAMAGED DURING SITE WORK OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. REFER TO CIVIL DRAWINGS FOR UTILITY LOCATIONS.
7. CONTRACTOR SHALL FULLY REMOVE ALL EXISTING CATCH BASINS, SLOT DRAINS, AREA DRAINS, AND ASSOCIATED UNDERGROUND PIPING WITHIN THE LIMIT OF WORK. CONTRACTOR SHALL VERIFY CATCH BASINS WITH GRATE COVERS IN FIELD TO DETERMINE IF THE CATCH BASINS ARE LEACHING STRUCTURES AND FULLY REMOVE ALL STONE ASSOCIATED WITH THE STRUCTURES TO PROVIDE SUITABLE BACKFILL FOR CONSTRUCTION OF THE PROPOSED PLAZA IMPROVEMENTS. CONTRACTOR SHALL RECORD AND NOTIFY THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER IN WRITING OF ANY CONFLICTS DURING THE DEMOLITION PROCESS.
8. MAINTAIN VEHICULAR TRAFFIC AND PEDESTRIAN CIRCULATION TO AND AROUND THE SITE. MAINTAIN CLEARLY MARKED PEDESTRIAN ACCESS TO AREAS ON-SITE NOT AFFECTED BY CONSTRUCTION ACTIVITIES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY MEASURES TO PREVENT SOIL EROSION. APPROVED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSTALLED BEFORE SITE CLEANING AND SITE GRADING OPERATIONS BEGIN.
10. ALL EXISTING BUILDINGS TO REMAIN SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.
11. SCHEDULE ALL DEMOLITION WITH THE OWNER.

LEGEND

- - - - - LIMIT OF WORK - CIVIC SPACE
- - - - - LIMIT OF WORK - SEE CIVIL DOCUMENTATION
- [Hatched Box] REMOVE AND DISPOSE OF PAVING AND BASE MATERIAL - FULL DEPTH. REMOVE ALL ELEMENTS INCLUDING BUT NOT LIMITED TO SIGNAGE, RAILINGS, FENCES, AND DRAINS. SEE NOTES ABOVE.
- [Solid Grey Box] REMOVE AND DISPOSE OF WALLS, STAIRS, AND FOOTINGS - FULL DEPTH.
- [X Symbol] REMOVE AND DISPOSE ELEMENT

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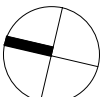
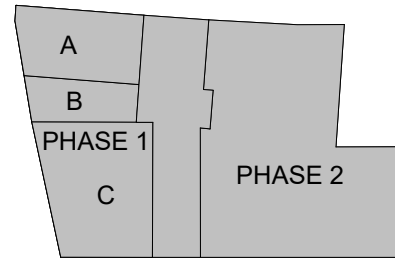
Davis Square Plaza



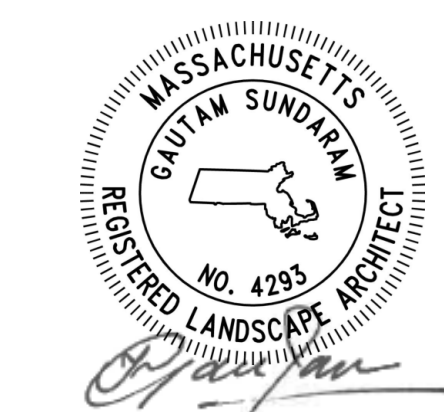
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KEYPLAN



ISSUE CHART



WORK: ISSUE: DATE:  
Job Number 2206

TITLE

PLAZA DEMOLITION  
PLAN

SHEET NUMBER

L101



2/22/2023 9:56:35 AM BIM 860/Asana Partners - Davis Square Plaza LAND\_2206-Davis-Square-Plaza-R21.rvt

1 MATERIALS PLAN  
1" = 10'-0"

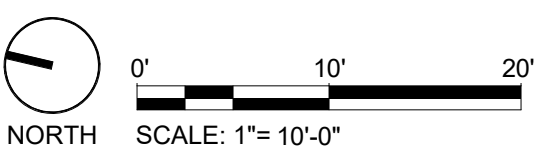


MATERIALS PLAN NOTES

1. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE EXISTING CONDITIONS BEFORE STARTING WORK.
2. SEE L800 FOR MATERIAL DETAILS.
3. EXPANSION AND CONTROL JOINTS TO BE LAID OUT FOR REVIEW BY LANDSCAPE ARCHITECT. WORK SHALL NOT BEGIN UNTIL LAYOUT APPROVAL BY LANDSCAPE ARCHITECT.  
A. CONCRETE PAVEMENT CONTROL JOINTS TYPICALLY SPACED 12x12', UNLESS SHOWN OTHERWISE.
4. REFER TO SPECIFICATIONS PERTAINING TO THE SPECIFIC MATERIALS TO BE USED FOR ALL TEMPORARY AND FINISH WORK.

LEGEND

- LIMIT OF WORK
- [Pattern] PLANTED AREA - SEE L900 SERIES
- [Pattern] CONCRETE PAVING - SEE CIVIL
- [Pattern] CONCRETE PAVING - LANDSCAPE ARCHITECTURAL FINISH - SEE 1 / L800
- [Pattern] UNIT PAVER TYPE 1 - SEE 2 / L800 4 / L800
- [Pattern] UNIT PAVER TYPE 2 - SEE 2 / L800 5 / L800
- [Pattern] UNIT PAVER TYPE 3 - SEE 3 / L800 4 / L800
- [Pattern] BRICK PAVER - RESET EXISTING PAVERS - SEE CIVIL DOCUMENTATION
- [Pattern] GRAVEL EDGE - SEE 6 / L800
- [Pattern] STONE TYPE 1
- [Pattern] STONE TYPE 2
- [Pattern] UTILITY COVER, TYPE (X) - SEE 7 / L800



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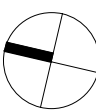
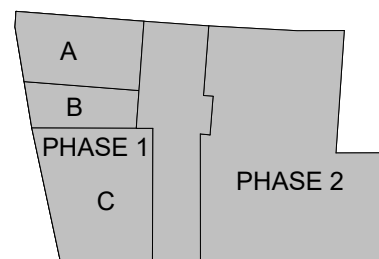
Davis Square Plaza



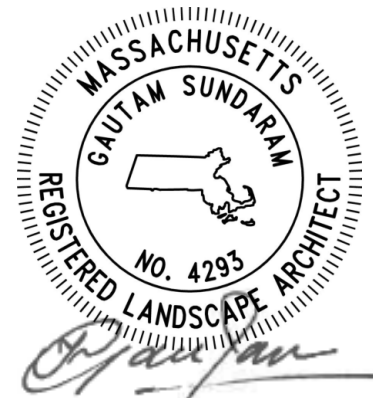
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KEYPLAN



ISSUE CHART



WORK: ISSUE: DATE:  
Job Number: 2206  
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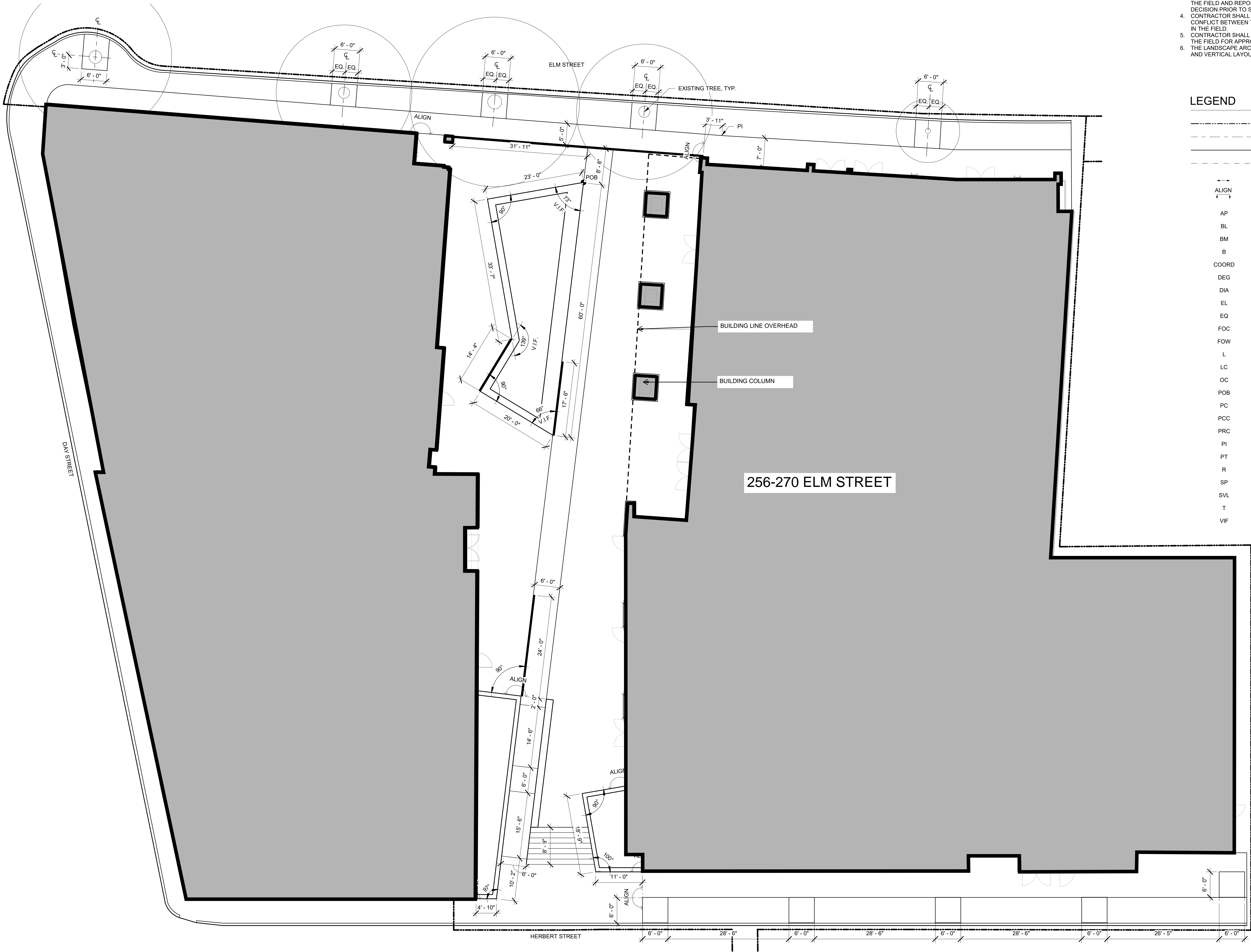
SITE MATERIALS  
PLAN

SHEET NUMBER

L200



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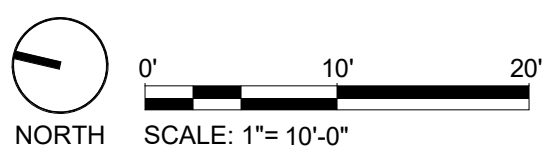
1 LAYOUT PLAN  
1" = 10'-0"

### LAYOUT PLAN NOTES

- SITE SURVEY WAS PREPARED BY FELDMAN LAND SURVEYORS ON APRIL 1, 2020. ALL COORDINATES SHOWN ON THE DRAWINGS ARE BASED UPON THE COORDINATE SYSTEM ESTABLISHED BY THE SURVEYOR. MCLV ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SURVEYED CONDITIONS AS SHOWN. SURVEY INFORMATION IS PROVIDED FOR REFERENCE ONLY.
- DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
  - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDINGS AND WALLS OR BACK OF CURBS, UNLESS OTHERWISE NOTED.
  - ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
  - ALL CURVED OBJECTS SHALL HAVE SMOOTH, CONTINUOUS CURVES WITH CONSISTENT RADI AS INDICATED. EACH CURVE SHALL MEET ADJACENT CURVES OR LINEAR SECTIONS ON THE TANGENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR DECISION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IF THERE IS ANY CONFLICT BETWEEN THE COORDINATE POINTS AND DIMENSIONS WHEN LAYING OUT IN THE FIELD.
- CONTRACTOR SHALL STAKE OR FLAG ALL SITE ELEMENTS TO BE CONSTRUCTED IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- THE LANDSCAPE ARCHITECT MAY MAKE MINOR ADJUSTMENTS TO THE HORIZONTAL AND VERTICAL LAYOUT WITHOUT INCURRING ADDITIONAL COSTS TO THE PROJECT.

### LEGEND

---	LIMIT OF WORK
---	CENTERLINE
---	EXPANSION JOINT - SEE 9 / L800
---	SCORE JOINT
↔	PARALLEL
↑	ALIGN
AP	ANGLE POINT
BL	BASELINE
BM	BENCH MARK
B	BEARING
COORD	COORDINATE
DEG	DEGREE
DIA	DIAMETER
EL	EASEMENT LINE
EQ	EQUAL
FOC	FACE OF CURB
FOW	FACE OF WALL
L	LENGTH OF CURVE
LC	LONG CHORD LENGTH
OC	ON CENTER
POB	POINT OF BEGINNING
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PRC	POINT OF REVERSE CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
R	RADIUS
SP	SPACES
SVL	SURVEY LINE
T	TANGENT LENGTH
VIF	VERIFY IN FIELD



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### PROJECT



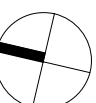
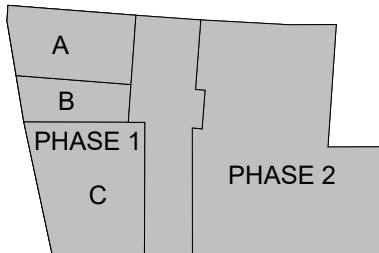
Davis Square Plaza



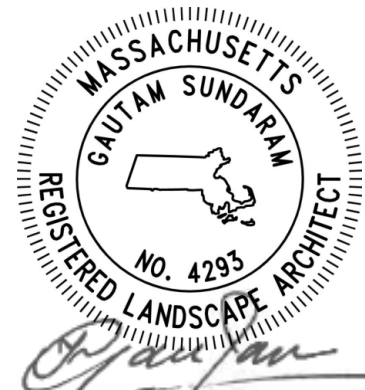
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### KEYPLAN



### ISSUE CHART



WORK: ISSUE: DATE:  
Job Number 2206  
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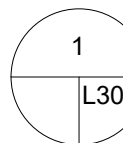
SITE LAYOUT PLAN

SHEET NUMBER

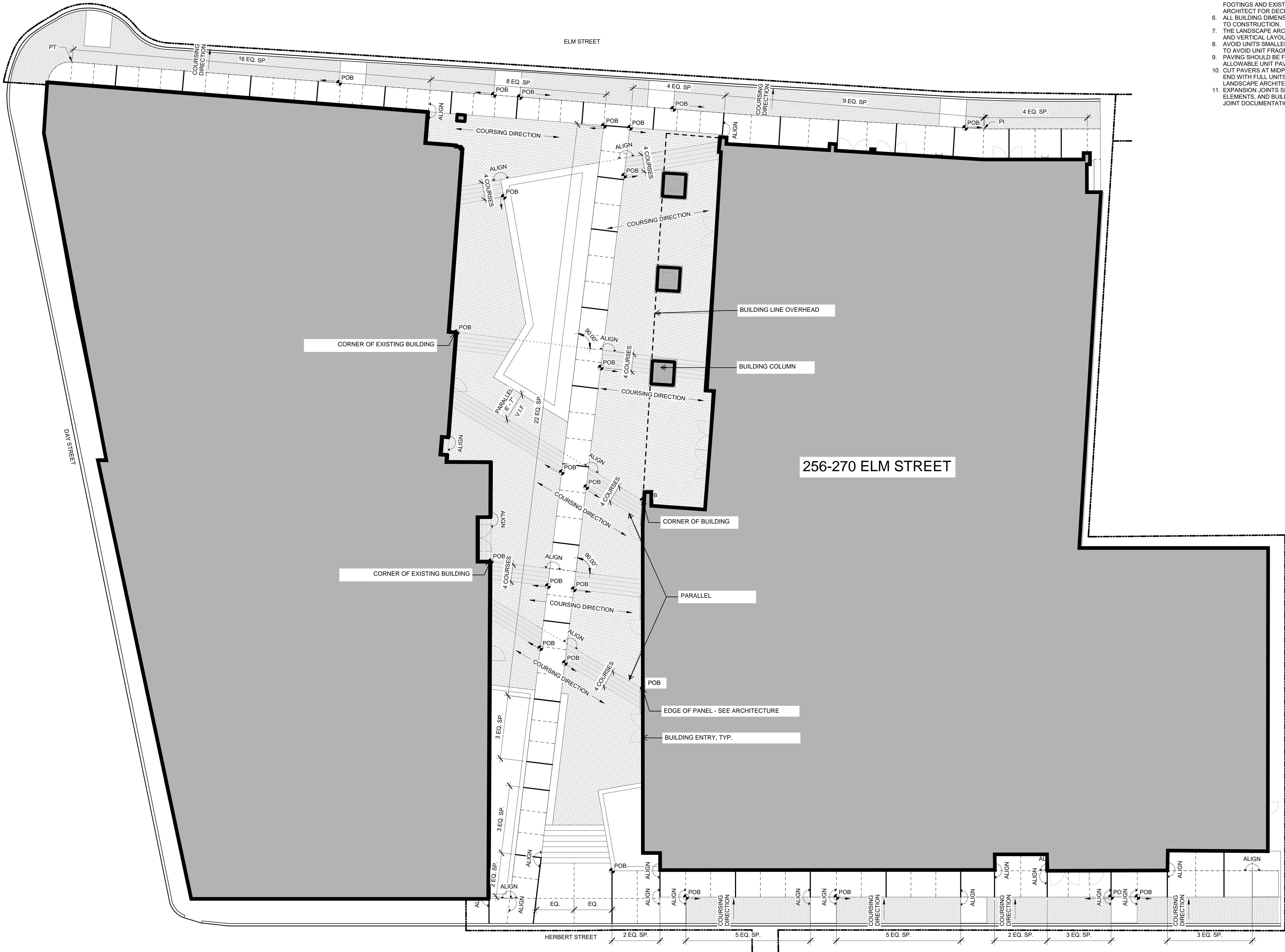
L300



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PAVING PLAN  
1" = 10'-0"



### PAVING PLAN NOTES

- FOR MATERIALS, SEE MATERIALS PLAN.
- DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
  - ALL DIMENSIONS ARE NOMINAL TO CENTERLINE OF JOINT.
  - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDINGS AND WALLS OR BACK OF CURBS, UNLESS OTHERWISE NOTED.
  - ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
  - ALL CURVED OBJECTS SHALL HAVE SMOOTH, CONTINUOUS CURVES WITH CONSISTENT RADI AS INDICATED. EACH CURVE SHALL MEET ADJACENT CURVES OR LINEAR SECTIONS ON THE TANGENT, UNLESS NOTED OTHERWISE.
  - ALIGNMENT SHALL GOVERN OVER DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR DECISION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL STAKE OR FLAG ALL SITE ELEMENTS TO BE CONSTRUCTED IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTH OF BELOW GRADE UTILITY STRUCTURES DURING SITE LAYOUT AND REPORT ANY DISCREPANCIES BETWEEN FOOTINGS AND EXISTING BELOW-GRADE STRUCTURES TO THE LANDSCAPE ARCHITECT FOR DECISION PRIOR TO STARTING CONSTRUCTION.
- ALL BUILDING DIMENSIONS AND COLUMN GRIDS SHOULD BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- THE LANDSCAPE ARCHITECT MAY MAKE MINOR ADJUSTMENTS TO THE HORIZONTAL AND VERTICAL LAYOUT WITHOUT INCURRING ADDITIONAL COSTS TO THE PROJECT. AVOID UNITS SMALLER THAN 1/4 OF ORIGINAL SIZE. BACK CUT WHERE NECESSARY TO AVOID UNIT FRAGMENTS.
- PAVING SHOULD BE FLUSH WITH ADJACENT CONDITIONS. SEE SPECIFICATIONS FOR ALLOWABLE UNIT PAVER LIP/LAP TOLERANCES.
- CUT PAVERS AT MIDPOINT OF PAVER FIELD. PAVER FIELD SHALL ALWAYS BEGIN AND END WITH FULL UNITS, UNLESS OTHERWISE NOTED OR APPROVED BY THE LANDSCAPE ARCHITECT.
- EXPANSION JOINTS SHALL BE USED AT ALL PAVING TRANSITIONS, VERTICAL ELEMENTS, AND BUILDING EDGES. SEE CIVIL DOCUMENTATION FOR EXPANSION JOINT DOCUMENTATION.

### LEGEND

---	LIMIT OF WORK
---	CENTERLINE
---	EXPANSION JOINT - SEE 9 / L800
---	SCORE JOINT
↔	PARALLEL
ALIGN	ALIGN
AP	ANGLE POINT
BL	BASELINE
BM	BENCH MARK
B	BEARING
COORD	COORDINATE
DEG	DEGREE
DIA	DIAMETER
EL	EASEMENT LINE
EQ	EQUAL
FOC	FACE OF CURB
FOW	FACE OF WALL
L	LENGTH OF CURVE
LC	LONG CHORD LENGTH
OC	ON CENTER
POB	POINT OF BEGINNING
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PRC	POINT OF REVERSE CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
R	RADIUS
SP	SPACES
SVL	SURVEY LINE
T	TANGENT LENGTH
VIF	VERIFY IN FIELD

CONSTRUCTION SET - 02.22.23

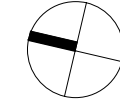
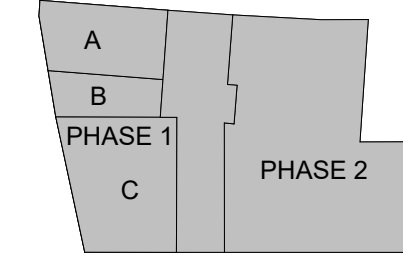


Davis Square Plaza

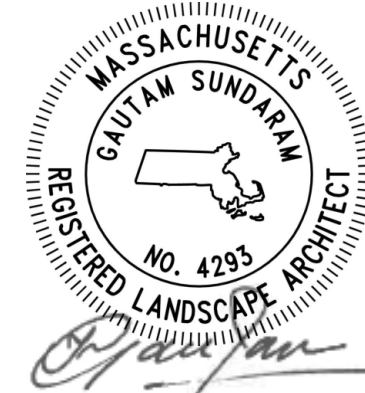


ASANA PARTNERS

1616 Camden Road Suite 210  
Charlotte, NC 28203



ISSUE CHART



Job Number 2206  
TITLE

SITE PAVING PLAN

SHEET NUMBER

L301

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SUSTAINABILITY CONSULTANT

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978 341 5462

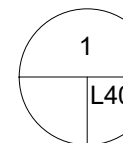
STRUCTURAL

RFS Engineering  
50 Milk Street  
Boston, MA 02109  
1 617 494 1464

MEP/PE

RFS Engineering  
50 Milk Street  
Boston, MA 02109  
1 617 494 1464





GRADING PLAN

1" = 10'-0"



GRADING PLAN NOTES

- SITE SURVEY WAS PREPARED BY FELDMAN LAND SURVEYORS ON APRIL 1, 2020. ALL GRADES SHOWN ON THE DRAWINGS ARE BASED UPON THE DATUM ESTABLISHED BY THE SURVEYOR. MCLV ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SURVEYED CONDITIONS AS SHOWN. SURVEY INFORMATION IS PROVIDED FOR REFERENCE ONLY. NOT ALL SURVEYED SPOT ELEVATIONS ARE SHOWN.
- ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL ESTABLISH PERMANENT BENCHMARKS AND BOUNDS AND REPLACE ANY WHICH ARE DESTROYED OR DISTURBED.
- EXISTING UTILITIES TO REMAIN AND BE PROTECTED. CONTRACTOR SHALL MATCH UTILITIES AT PROPOSED GRADE AS NECESSARY. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR SHALL ADJUST ALL UTILITY ELEMENTS OR COVERS (INCLUDING BUT NOT LIMITED TO: CLEAN OUTS, MANHOLES, CATCH BASINS, INLETS, GATE VALVES) TO BE FLUSH WITH THE FINISHED GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE THE DESIGNATED SITE BOUNDARY. IF FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.
- NO SOIL IS TO BE REMOVED FROM THE PROJECT SITE.
  - EXISTING SOIL STOCKPILES SHALL BE USED FOR ROUGH GRADING AND SOIL MIXING OPERATIONS.
- 'FINISHED GRADE' (F.G.) SHALL MEAN THE REQUIRED FINAL GRADE ELEVATIONS INDICATED ON THE DRAWINGS.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMIT, PROPERTY LINES, BUILDING LINES AND EXISTING CURBS.
- SPOT ELEVATIONS SHALL GOVERN OVER PROPOSED CONTOURS.
- CONTRACTOR SHALL ENSURE CONSISTENT SLOPE BETWEEN SPOT ELEVATIONS.
- AT RIDGE LINES, HIGH POINTS AND LOW POINTS, CONTRACTOR SHALL TRANSITION GRADE TO AVOID A POINT OR SHARP EDGE.
- ALL SIDEWALKS, STOOPS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT 2.0% MAXIMUM, 0.5% MINIMUM.
- ALL AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND TO APPROVED DRAINAGE STRUCTURES OR CONVEYANCES.
- PROVIDE 2% MAX. SLOPE, PERPENDICULAR TO DIRECTION OF TRAVEL, ON ALL PAVED PEDESTRIAN SURFACES, UNLESS NOTED OTHERWISE.
- FOR SLOPE CONSTRUCTION 3:1 AND STEEPER SEE SOILS PLAN NOTES.
- GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS AND ARE NOT TO BE INSTALLED AS ACTUAL JOINT LINES, EXCEPT WHERE THEY COINCIDE WITH PAVING JOINTS.
- GRADING WITHIN DRIP LINES OF EXISTING TREES TO REMAIN SHALL BE BY HAND TO AVOID DAMAGE TO ROOT ZONE.
- SEE CIVIL DRAWINGS FOR ALL UTILITY, DRAIN INLET, MANHOLE, AND UNDERDRAIN LOCATIONS AND DETAILING.

LEGEND

	LIMIT OF WORK
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADE BREAK
	PLANTED AREA
	TRENCH DRAIN - SEE CIVIL
	MATCH GRADE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	SLOPE
	ELEVATION MARKER
	EACH
	FINISHED GRADE
	HIGH POINT
	LOW POINT
	BOTTOM OF CURB
	TOP OF CURB
	BOTTOM OF RAMP
	TOP OF RAMP
	BOTTOM OF STEP
	TOP OF STEP
	BOTTOM OF WALL
	TOP OF WALL
	TOP OF BOULDER
	RIM ELEVATION
	VERIFY IN FIELD

CONSTRUCTION SET - 02.22.23

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1 617-494-1464

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1 617-494-1464

PROJECT



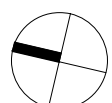
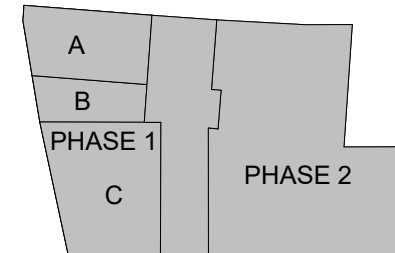
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KEYPLAN



ISSUE CHART



DATE  
2206  
Job Number  
TITLE

SITE GRADING PLAN

SHEET NUMBER

L400



2/22/2023 9:58:29 AM BIM 860/Asana Partners - Davis Square Plaza - Davis Square Plaza-R21.rvt

1  
L500  
FURNISHINGS PLAN  
1" = 10'-0"

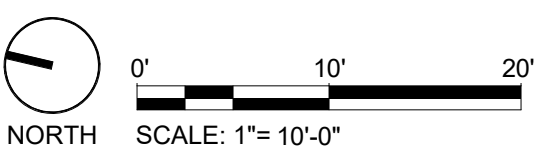


FURNISHINGS PLAN NOTES

1. SITE FURNISHING LAYOUTS TO BE STAKED IN FIELD AND VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
  - A. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDINGS AND WALLS OR BACK OF CURBS, UNLESS OTHERWISE NOTED.
  - B. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO PROVIDE FIELD MEASUREMENTS BEFORE PREPARATION OF SHOP DRAWINGS AND FABRICATIONS. DO NOT DELAY JOB PROGRESS.
5. PRIOR TO FINAL LAYOUT AND PLACEMENT OF ELEMENTS, THE CONTRACTOR SHALL VERIFY PROPOSED OVERALL DIMENSIONS AND ELEVATIONS OF SITE IMPROVEMENTS IN RELATION TO WHAT IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT.

LEGEND

- LIMIT OF WORK
- HANDRAIL - SEE 4 / L820
- TREE GUARD - SEE 4 / L830
- SEAT WALL - SEE L811
- [Symbol] LITTER RECEPTACLE TYPE 1 - SEE 2 / L830
- [Symbol] LITTER RECEPTACLE TYPE 2 - SEE 3 / L830
- [Symbol] TABLE AND CHAIRS - SEE SPECS - QUANTITIES TO BE VERIFIED AND APPROVED BY OWNER
- [Symbol] BICYCLE RACKS - SEE 1 / L830



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PROJECT



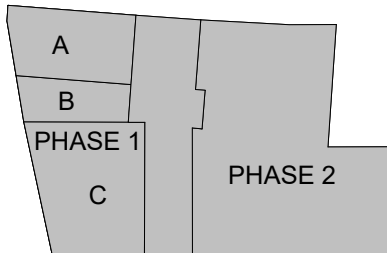
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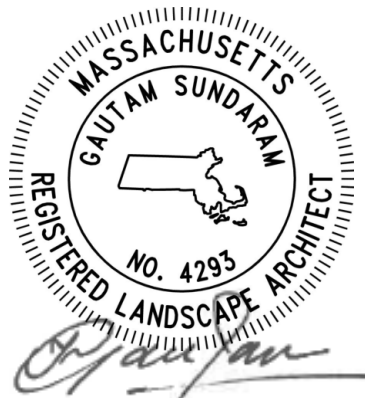
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KEYPLAN



ISSUE CHART



WORK: ISSUE: DATE: 2206  
Job Number

TITLE

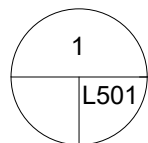
SITE FURNISHINGS  
PLAN

SHEET NUMBER

L500



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SITE LIGHTING AND OUTLET PLAN

1" = 10'-0"



LIGHTING AND OUTLET PLAN NOTES

- SEE MEP PLANS AND SPECIFICATIONS FOR LIGHT FIXTURE DOCUMENTATION.
- SEE ARCHITECTURE AND MEP DOCUMENTATION FOR OVERHEAD CATENARY LIGHT FIXTURE LAYOUT.

LEGEND

	LIMIT OF WORK
+ □	LA2 - WALL ACCENT LIGHT 5 / L830
■ ■ ■ ■ ■	LA3 - LINEAR LIGHT 7 / L811
■	LA4 - WALL LIGHT 1 / L811
▶	LA5 - TREE ACCENT LIGHT 7 / L830
⊕	RECEPTACLE BOLLARD - VERIFY LOCATIONS IN FIELD - SEE 6 / L830

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PROJECT



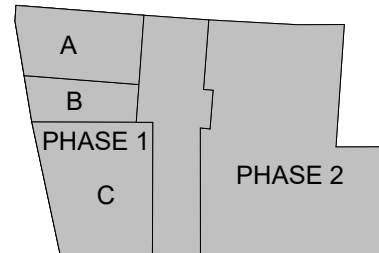
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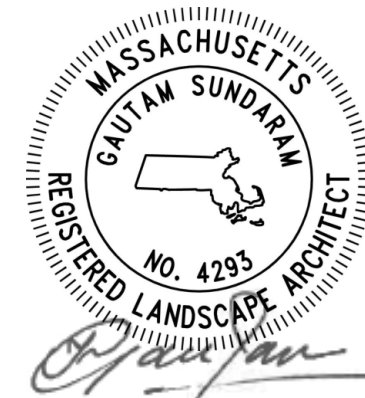
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KEYPLAN



ISSUE CHART



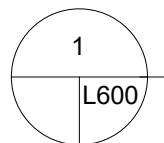
ISSUE	DATE
Job Number	2206
TITLE	

SITE LIGHTING AND  
OUTLET PLAN

SHEET NUMBER

L501





SOILS PLAN  
1" = 10'-0"



#### SOILS PLAN NOTES

- ALL AMENDED SOIL MATERIAL SHOULD BE THOROUGHLY BLENDED AND BE CONSISTENT THROUGHOUT.
- SCARIFY EXISTING SUBGRADE WHEN DRY AND PRIOR TO ADDING FILL.
- CONTRACTOR TO QUANTIFY EXISTING STOCKPILE PRIOR TO SCREENING OPERATIONS.
- ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE NOT DESIGNATED WITH A SOIL PROFILE SHALL BE TOPSOILED AND SEEDED BY CONTRATOR.
- UNDERDRAIN LOCATIONS ARE FOR REFERENCE ONLY. SEE CIVIL DOCUMENTATION FOR DRAINAGE LAYOUT.
- USE TRACKED LOW PRESSURE EQUIPMENT WHEN PLACING MIXED SOIL. MIXED SUBSOIL SHOULD BE PLACED IN 6 INCH LIFTS WITH SCARIFICATION BETWEEN LIFTS.
  - REFER TO SOIL PROFILE DETAILS AND SPECIFICATIONS.
  - PLACE TOPSOIL IN ONE 6 INCH LIFT TO ALLOW FEATHERING, SETTLEMENT, AND GRADING DEVIATIONS.
- IF ANY PORTION OF SUBGRADE IS FOUND TO BE NOT FREE-DRAINING, REPORT FINDINGS TO LANDSCAPE ARCHITECT. DO NOT PROCEED WITH INSTALLATION OF PLANTING SOILS UNTIL CONDITIONS HAVE BEEN REMEDIATED.
- CONTRACTOR SHALL VERIFY THAT ALL UNDER DRAINAGE AND IRRIGATION MAIN LINES ARE CORRECTLY INSTALLED OR COORDINATED PRIOR TO SOIL INSTALLATION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE EXCESSIVE COMPACTION DURING SOIL PLACEMENT. BACK-BLADING IS PROHIBITED. REFER TO SPECIFICATIONS FOR COMPACTION REQUIREMENTS.
- FOR SLOPE CONSTRUCTION 3:1 AND STEEPER THE CONTRACTOR SHALL COORDINATE WITH A GEOTECHNICAL ENGINEER ON THE SUITABILITY OF SOILS PLANNED FOR THESE SLOPES AND FOLLOW RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER FOR SLOPE CONSTRUCTION. TOPSOIL PLACEMENT ON SLOPES SHALL BE INSTALLED IN A BENCHED PATTERN WITH EROSION CONTROL MESH.
  - MESH SHALL BE BURIED IN ANCHOR TRENCHES AT LEAST 10" DEEP AT THE TOP AND BOTTOM ENDS OF INSTALLATION TO PREVENT UNDERCUTTING.
  - EROSION CONTROL MESH SHALL BE FULLY BEDDED AGAINST SOIL SUCH THAT THERE ARE NOT VOID SPACES BETWEEN MESH.

#### LEGEND

- LIMIT OF WORK
- PLANTING SOIL PROFILE - SEE L620
- C.U. STRUCTURAL SOIL - SEE DETAIL 3 / L920

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#### PROJECT



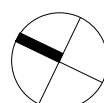
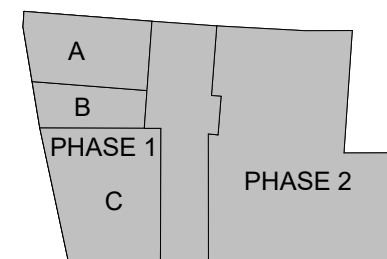
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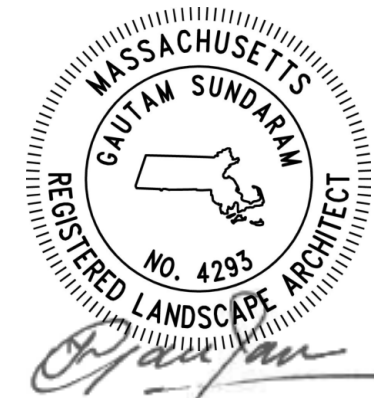
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#### KEYPLAN



#### ISSUE CHART



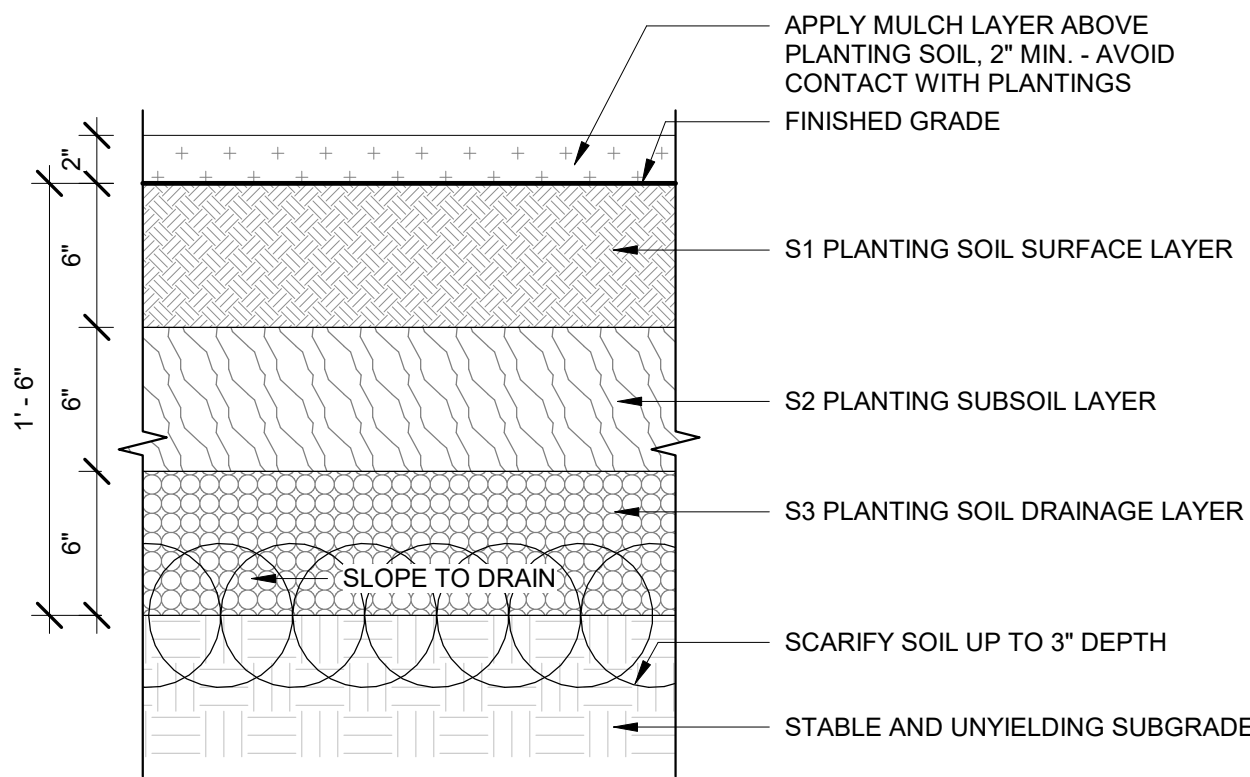
WORK	ISSUE	DATE
Job Number		2206
TITLE		

SITE SOILS PLAN

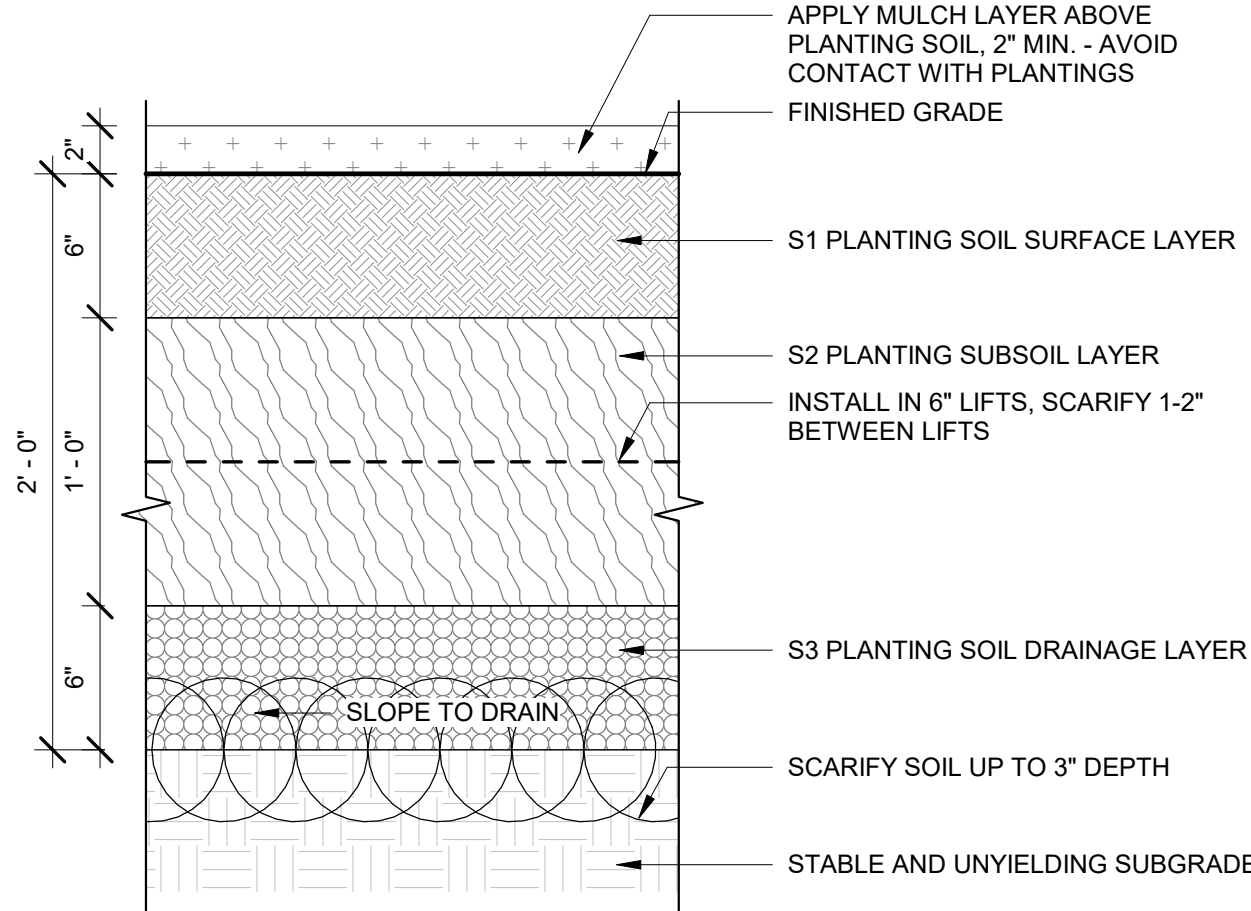
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L600

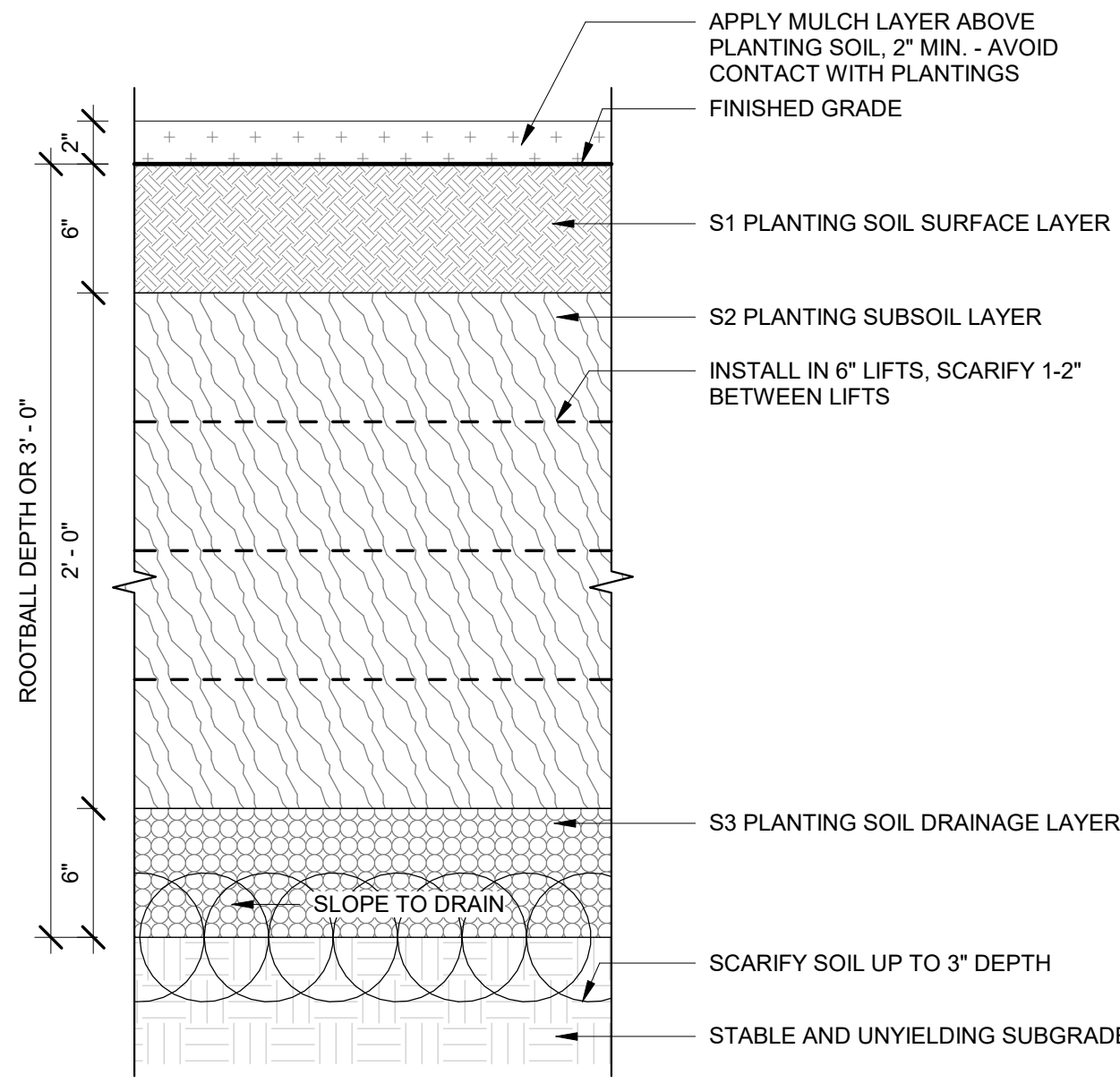




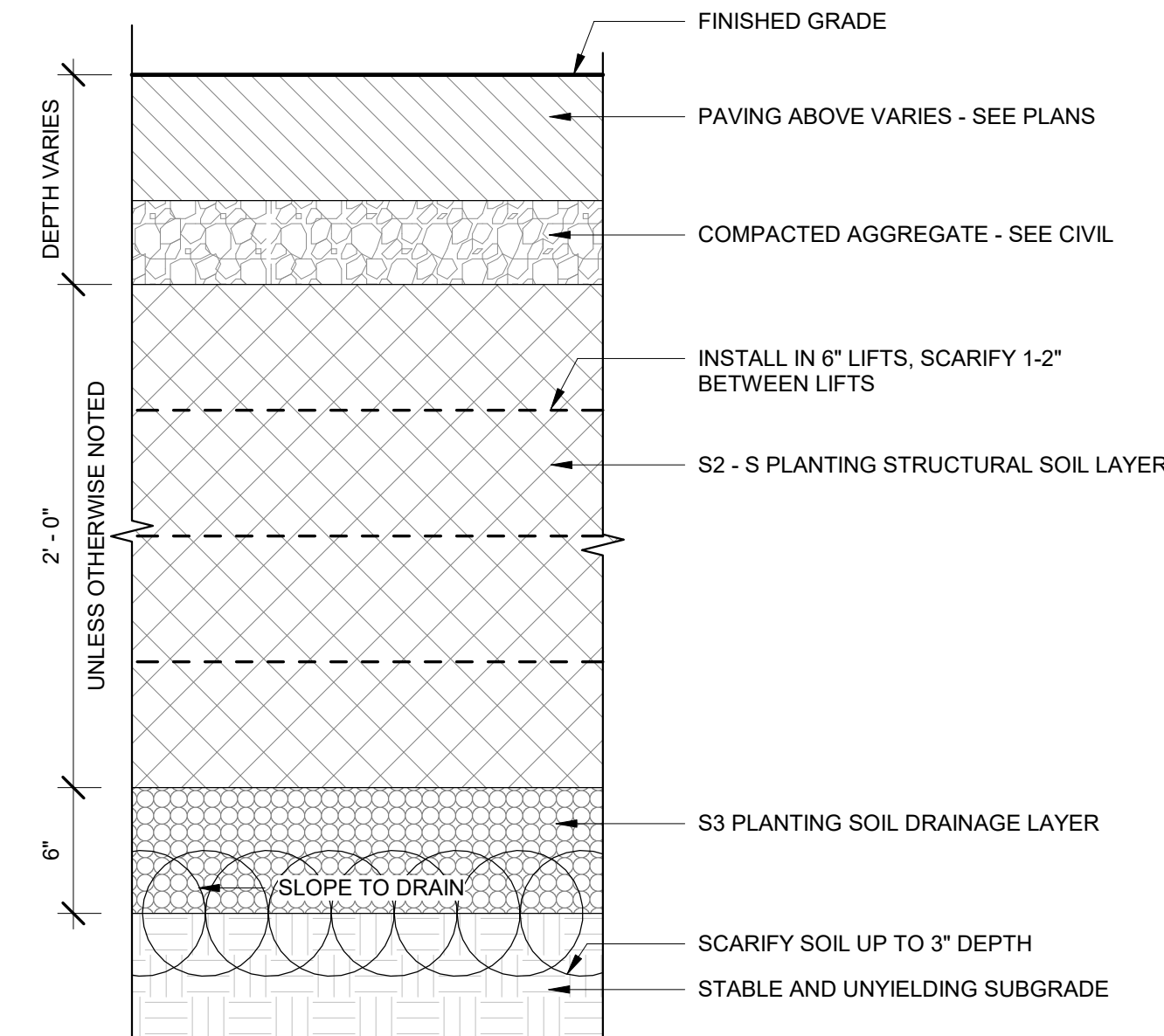
1 PLANTING SOIL PROFILE - GROUNDCOVERS  
1 1/2" = 1'-0"



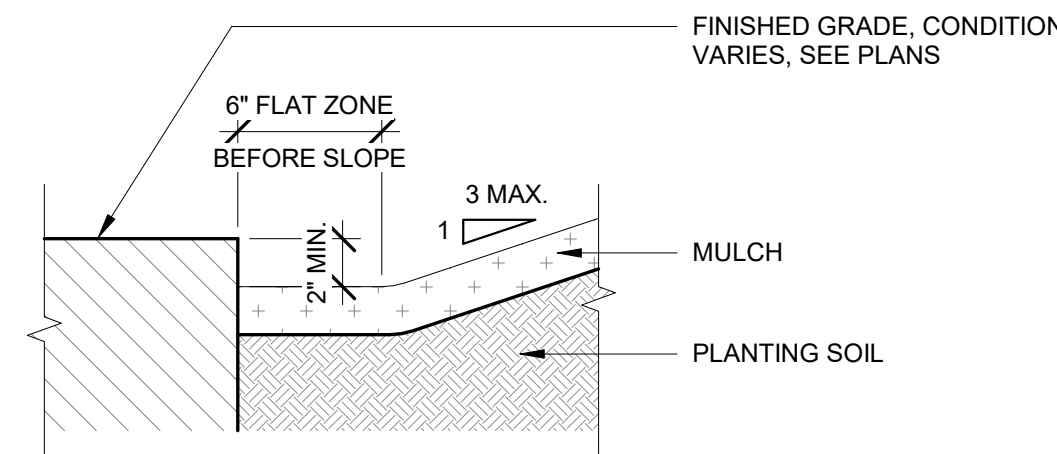
2 PLANTING SOIL PROFILE - SHRUBS  
1 1/2" = 1'-0"



3 PLANTING SOIL PROFILE - TREES  
1 1/2" = 1'-0"



4 PLANTING SOIL PROFILE - STRUCTURAL  
1 1/2" = 1'-0"



5 PLANTING SOIL AT SURFACE  
1 1/2" = 1'-0"

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### PROJECT



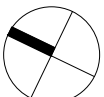
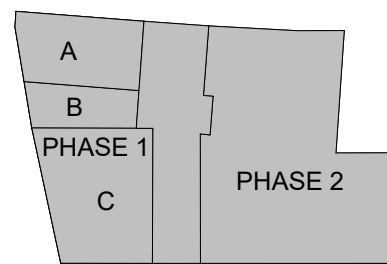
Davis Square Plaza



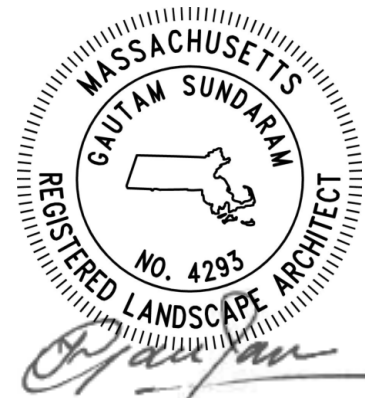
ASANA PARTNERS

1616 Camden Road Suite 210  
Charlotte, NC 28203

### KEYPLAN



### ISSUE CHART



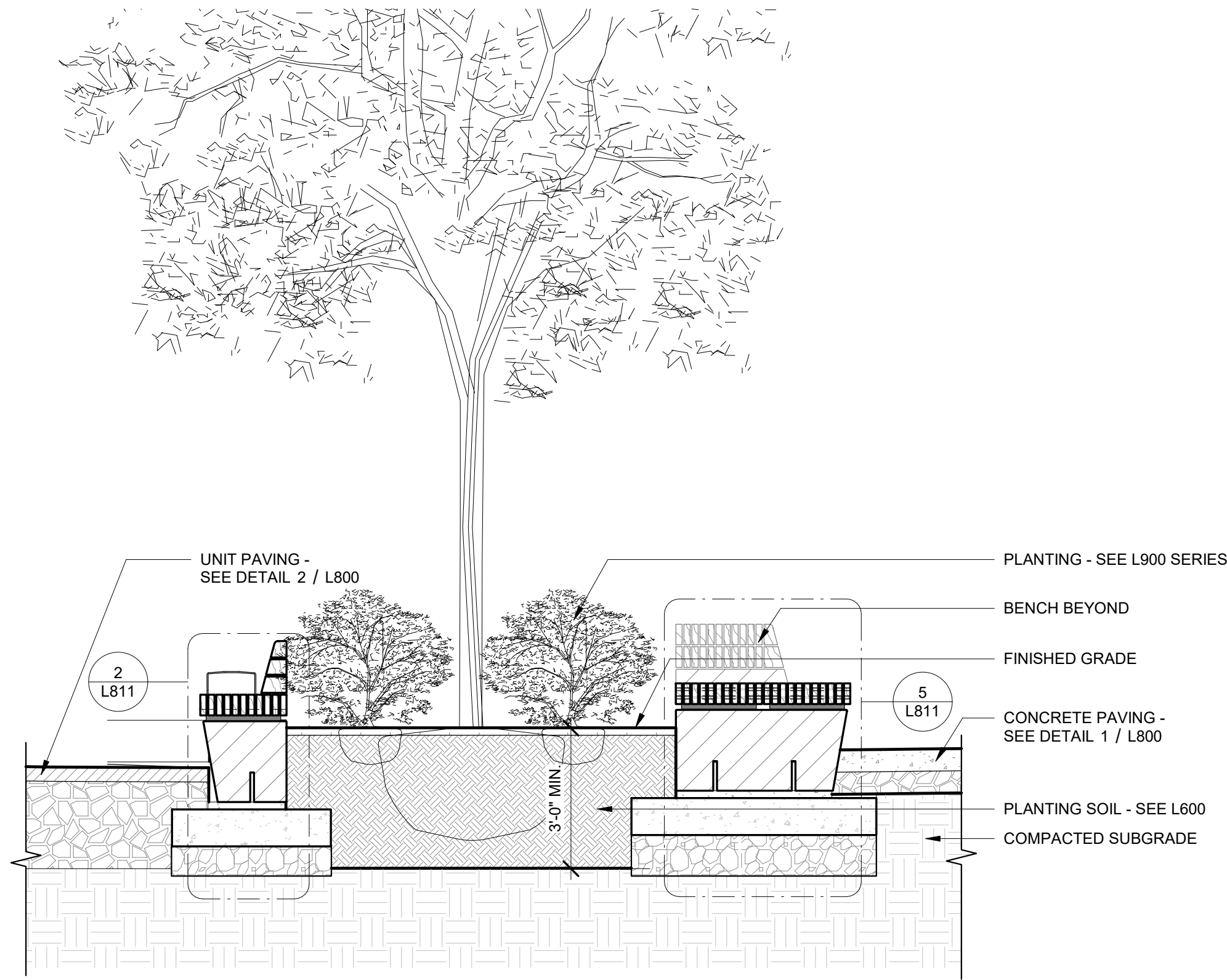
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Job Number: 2206  
TITLE:

DETAILS - SOILS

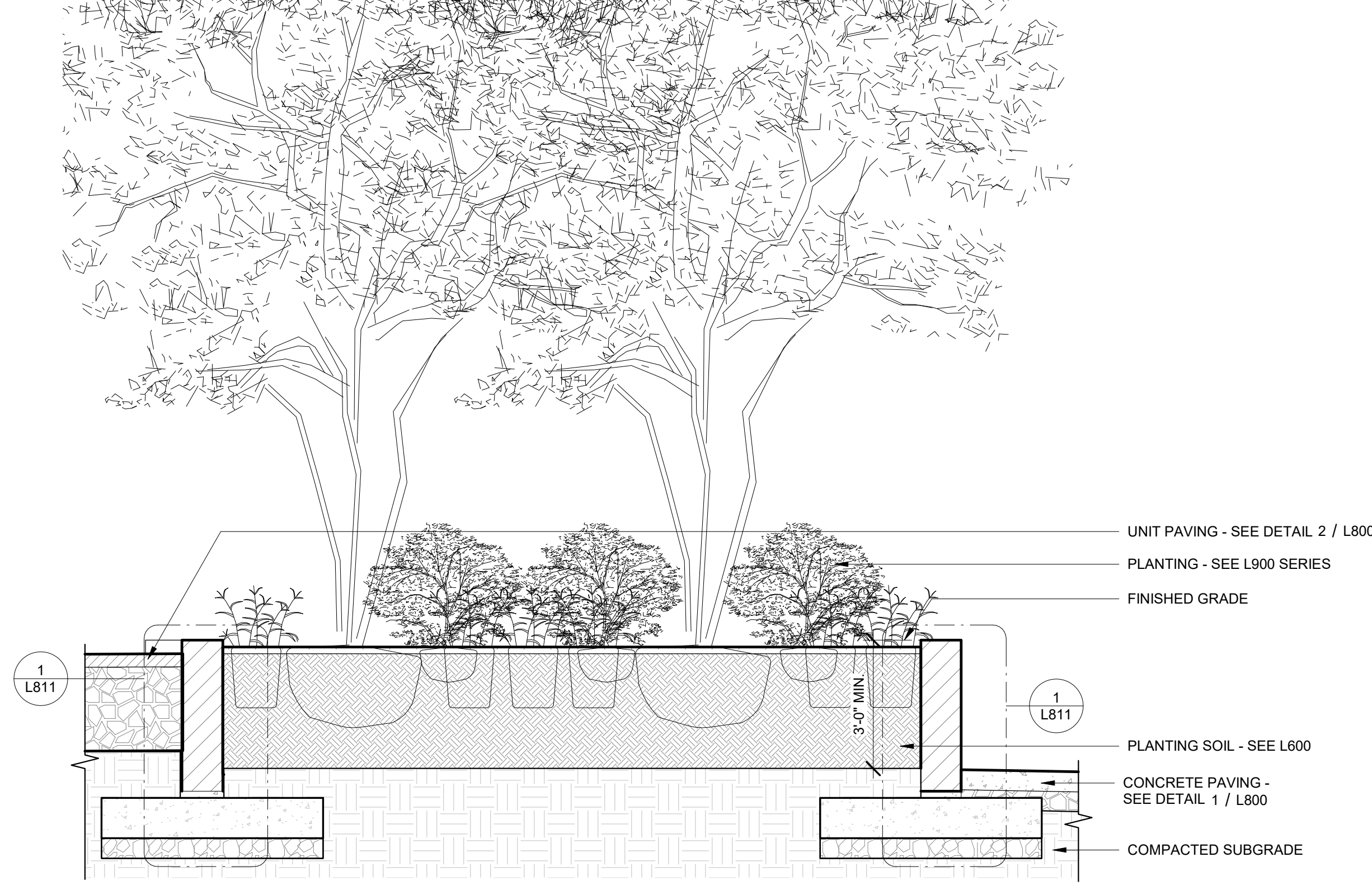
SHEET NUMBER

L620

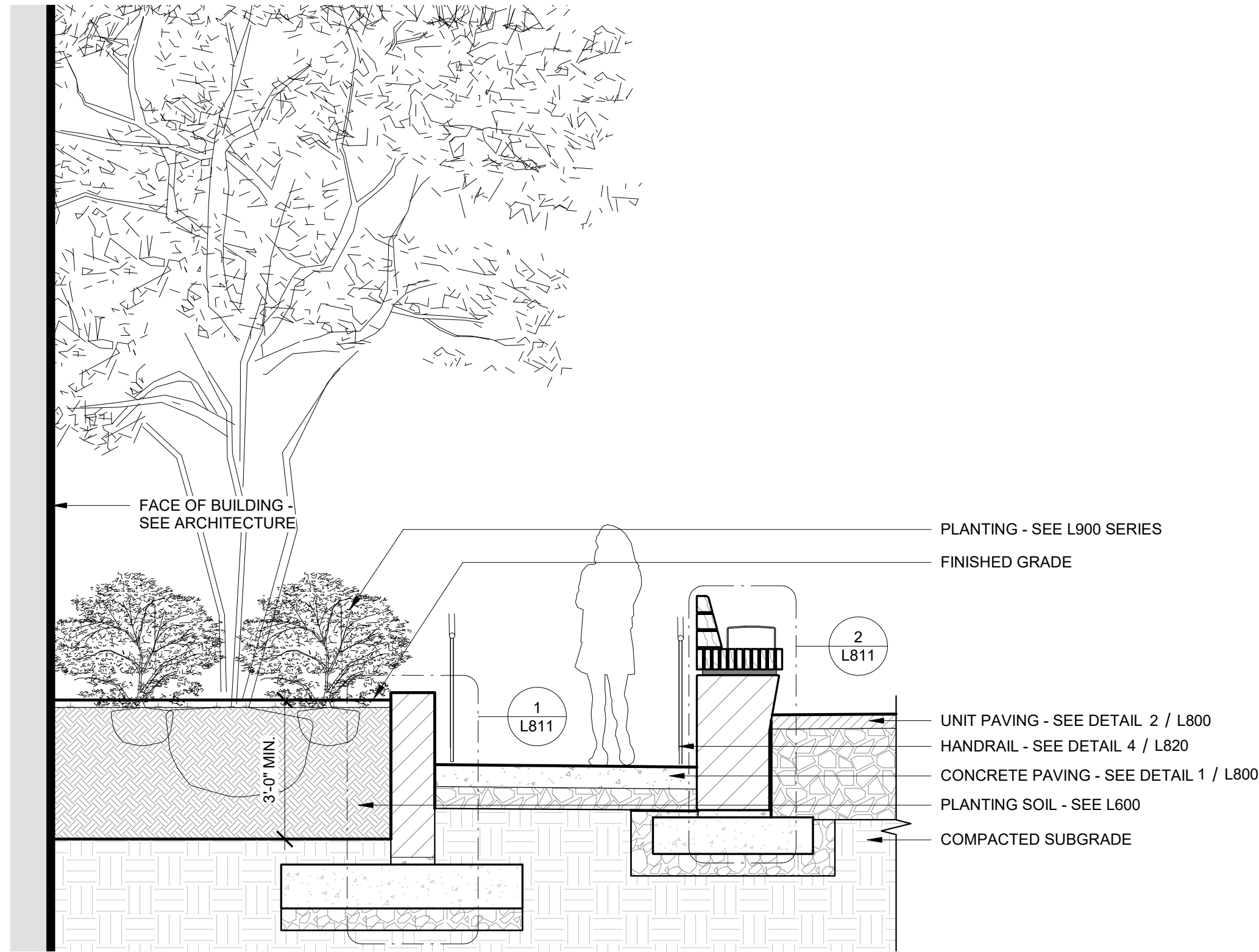




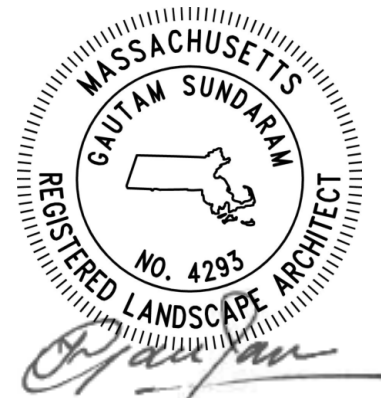
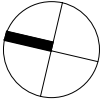
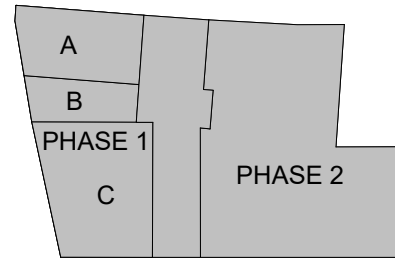
1 ILLUSTRATIVE SECTION - PLANTER A LOOKING EAST  
3/8" = 1'-0"



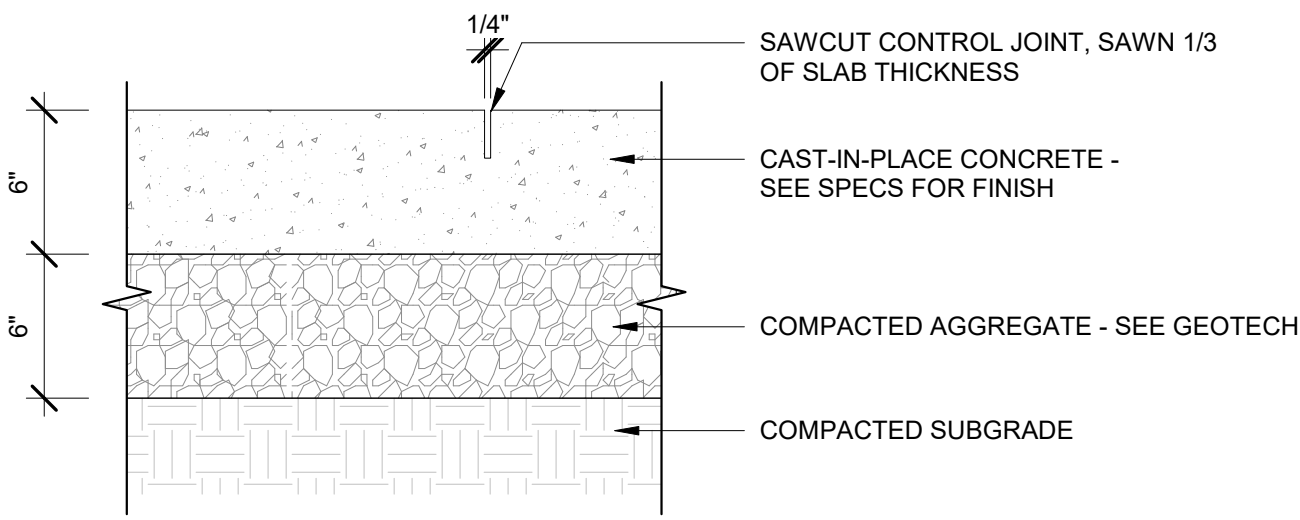
2 ILLUSTRATIVE SECTION - PLANTER C LOOKING SOUTH  
3/8" = 1'-0"



3 ILLUSTRATIVE SECTION - PLANTER B LOOKING EAST  
3/8" = 1'-0"

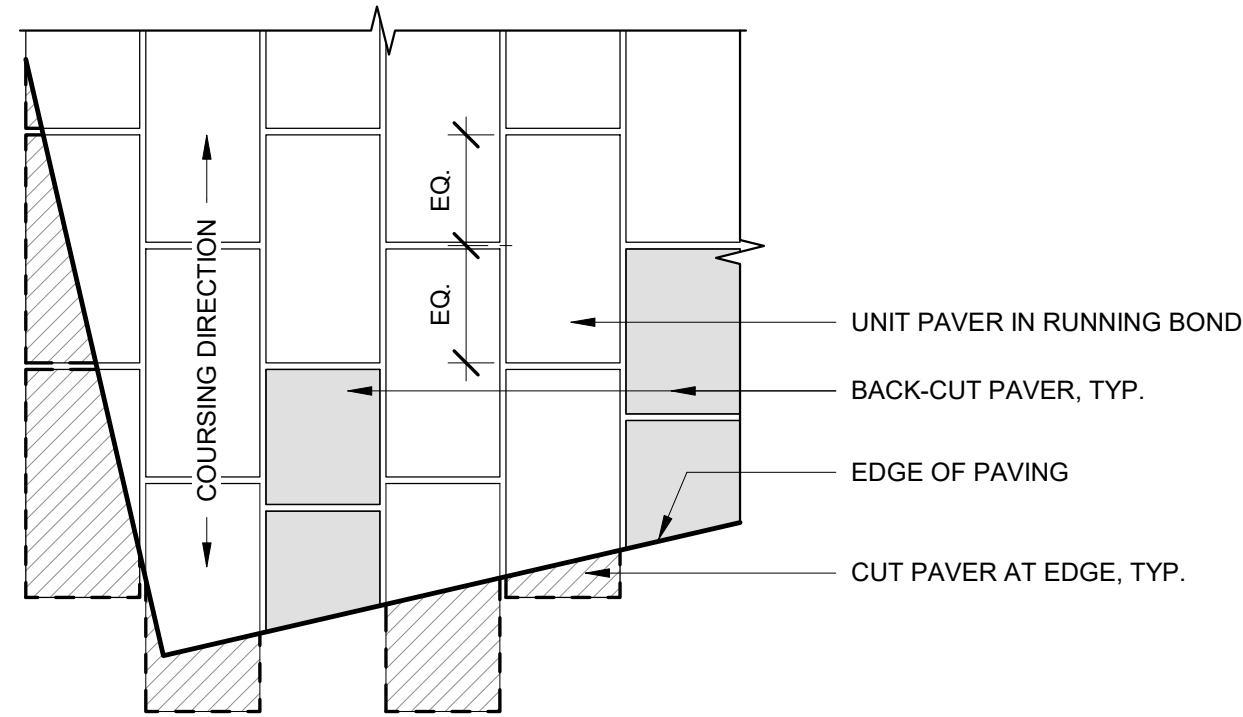






1 CONCRETE PAVING - TYPICAL

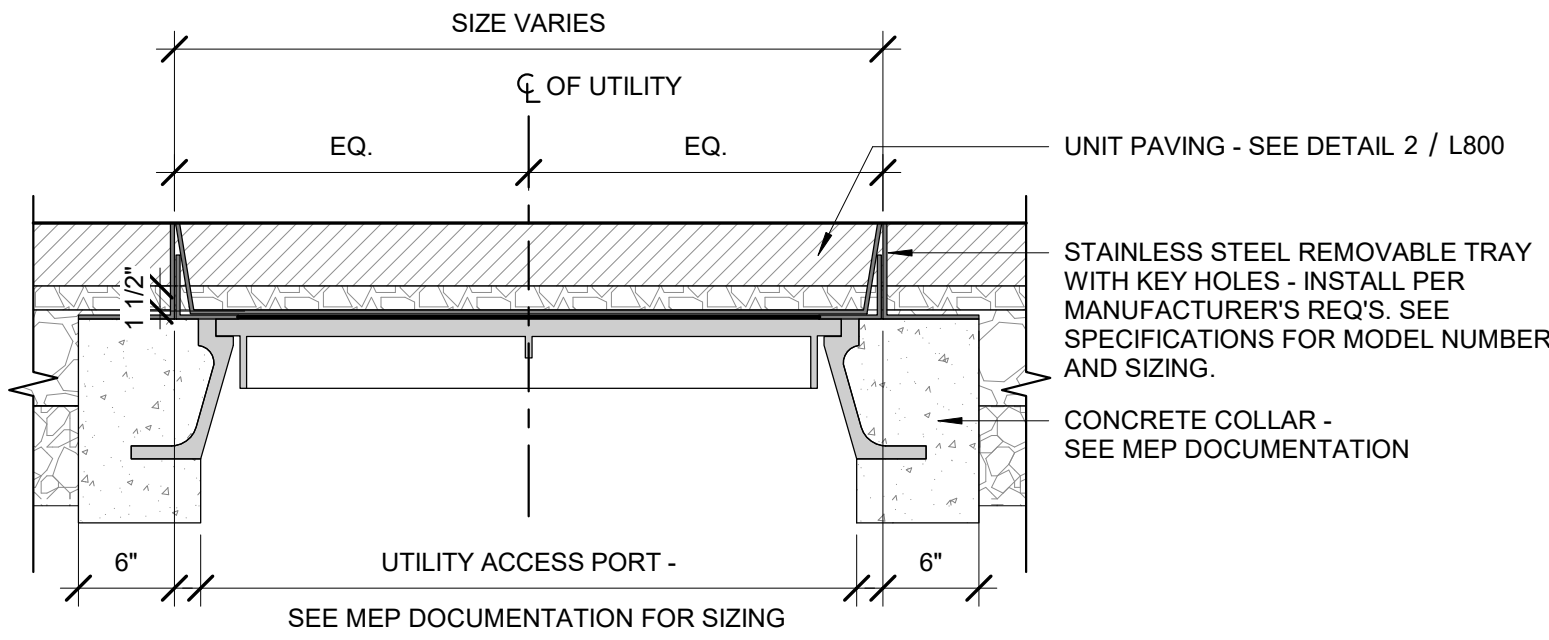
1 1/2" = 1'-0"



- NOTES:
- SEE SPECIFICATIONS FOR UNIT PAVING DIMENSIONS AND PATTERN INFORMATION.
  - BACK-CUT PAVERS TO AVOID UNITS SMALLER THAN 1/2 OF ORIGINAL SIZE.
  - PAVERS SHALL BE FLUSH WITH ADJACENT CONDITIONS - SEE SPECIFICATION FOR ALLOWABLE UNIT PAVER LIPPAGE TOLERANCES.

4 UNIT PAVING PATTERN - RUNNING BOND

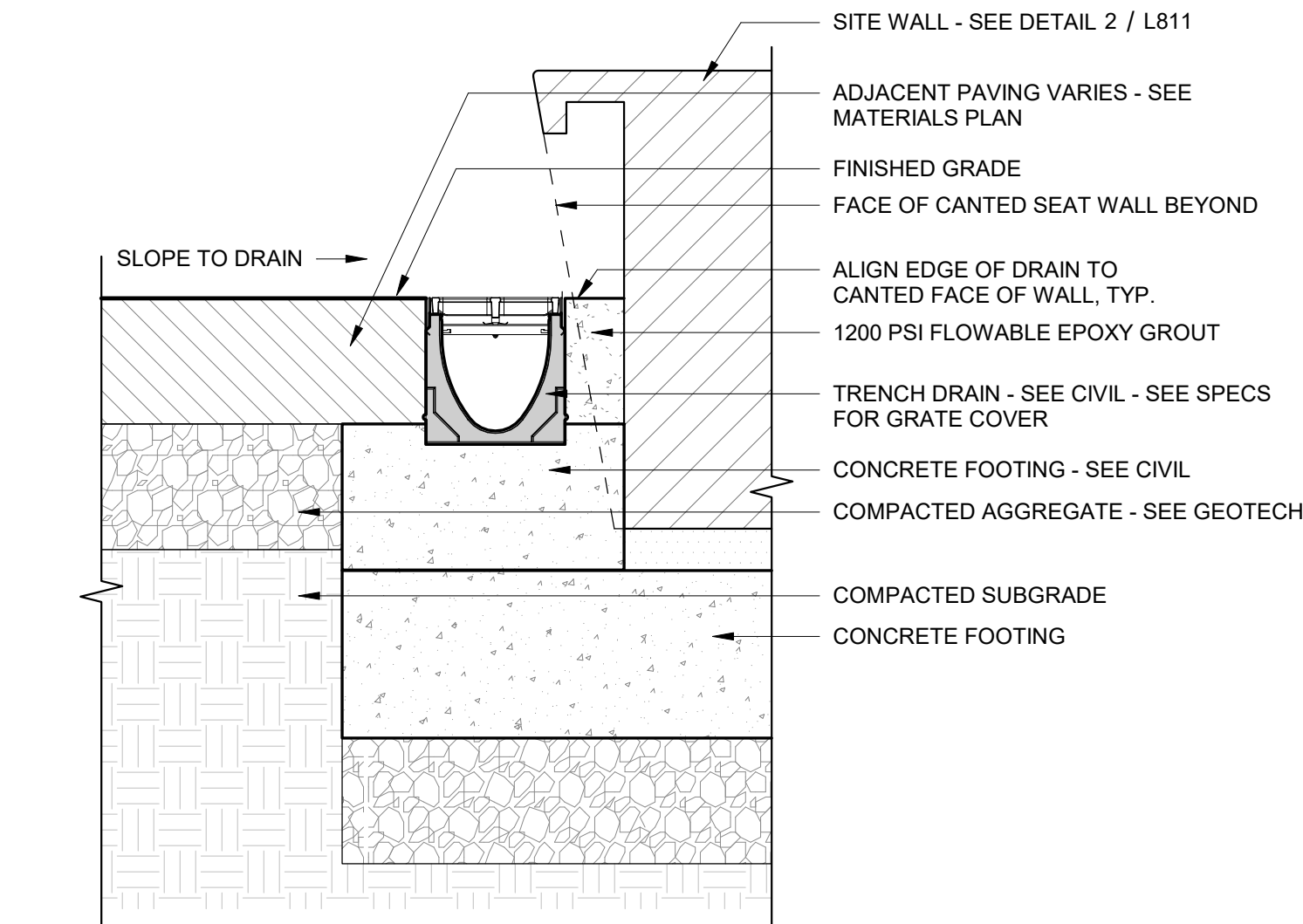
1 1/2" = 1'-0"



- NOTE:
- MATCH ORIENTATION PER PLANS IN ALIGNMENT WITH PAVING PATTERN.
  - LOCATE UTILITY COVER WITHIN FIELD OF ONE PAVING MATERIAL TYPE.

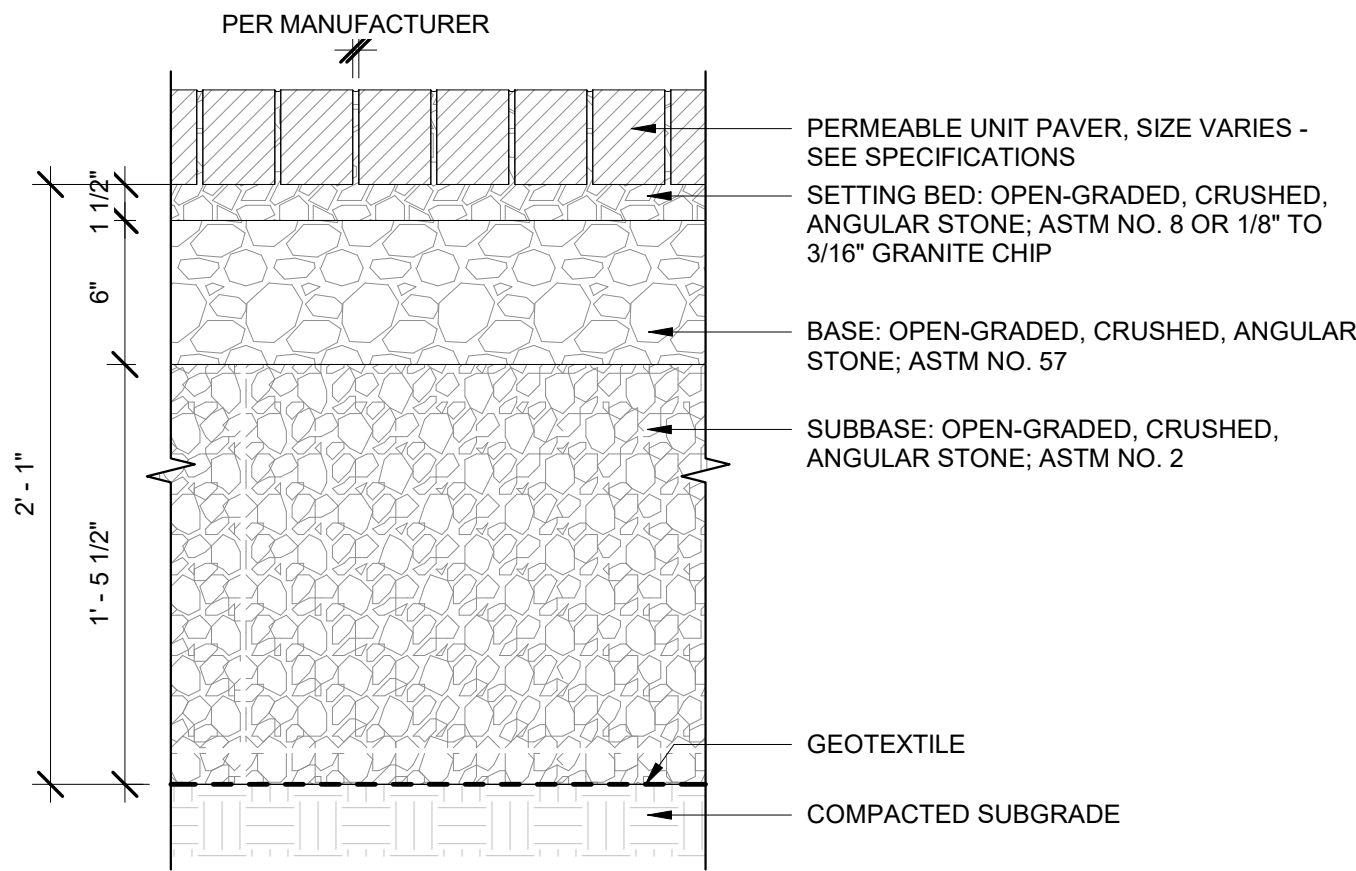
7 UTILITY COVER AT UNIT PAVERS

1" = 1'-0"



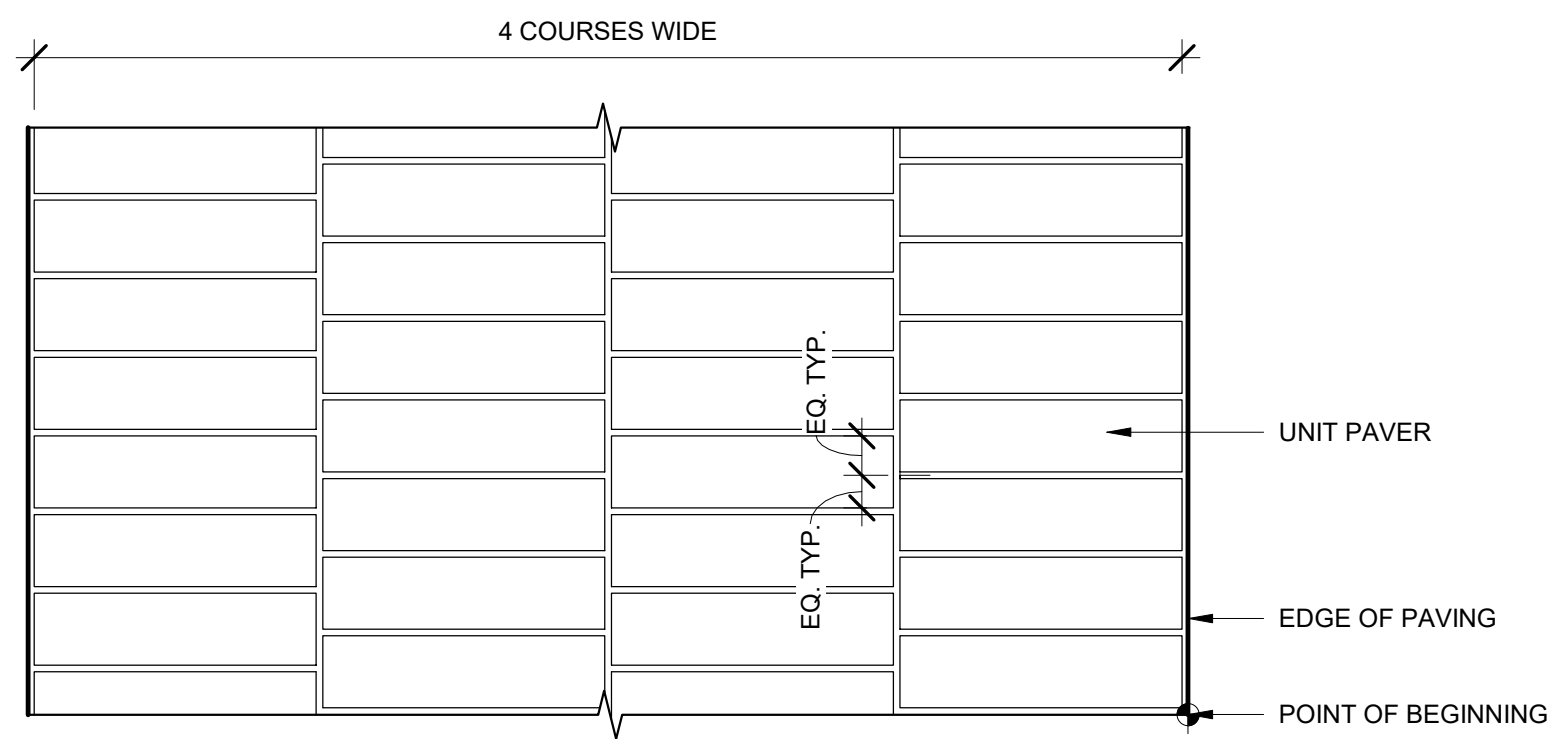
10 TRENCH DRAIN AT SEAT WALL

1 1/2" = 1'-0"



2 UNIT PAVERS TYPES 1 & 2

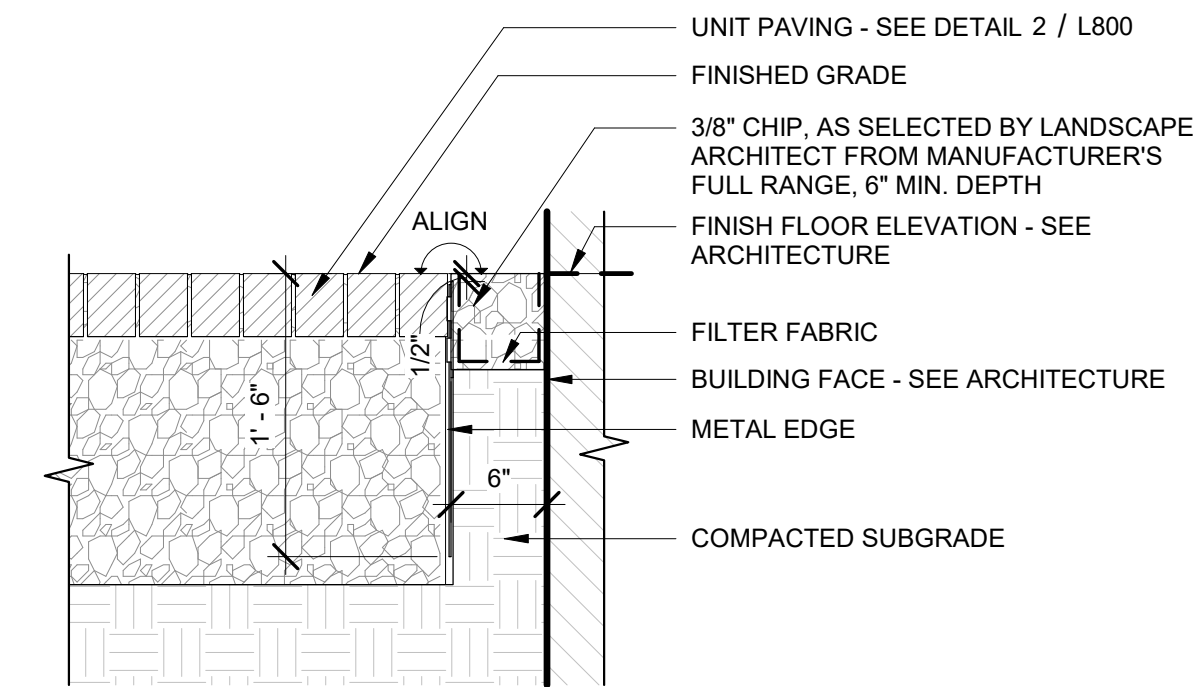
1 1/2" = 1'-0"



- NOTES:
- SEE SPECIFICATIONS FOR UNIT PAVING DIMENSIONS AND PATTERN INFORMATION.
  - BACK-CUT PAVERS TO AVOID UNITS SMALLER THAN 1/2 OF ORIGINAL SIZE.
  - PAVERS SHALL BE FLUSH WITH ADJACENT CONDITIONS - SEE SPECIFICATION FOR ALLOWABLE UNIT PAVER LIPPAGE TOLERANCES.

5 UNIT PAVING PATTERN - OFFSET STACKED BOND

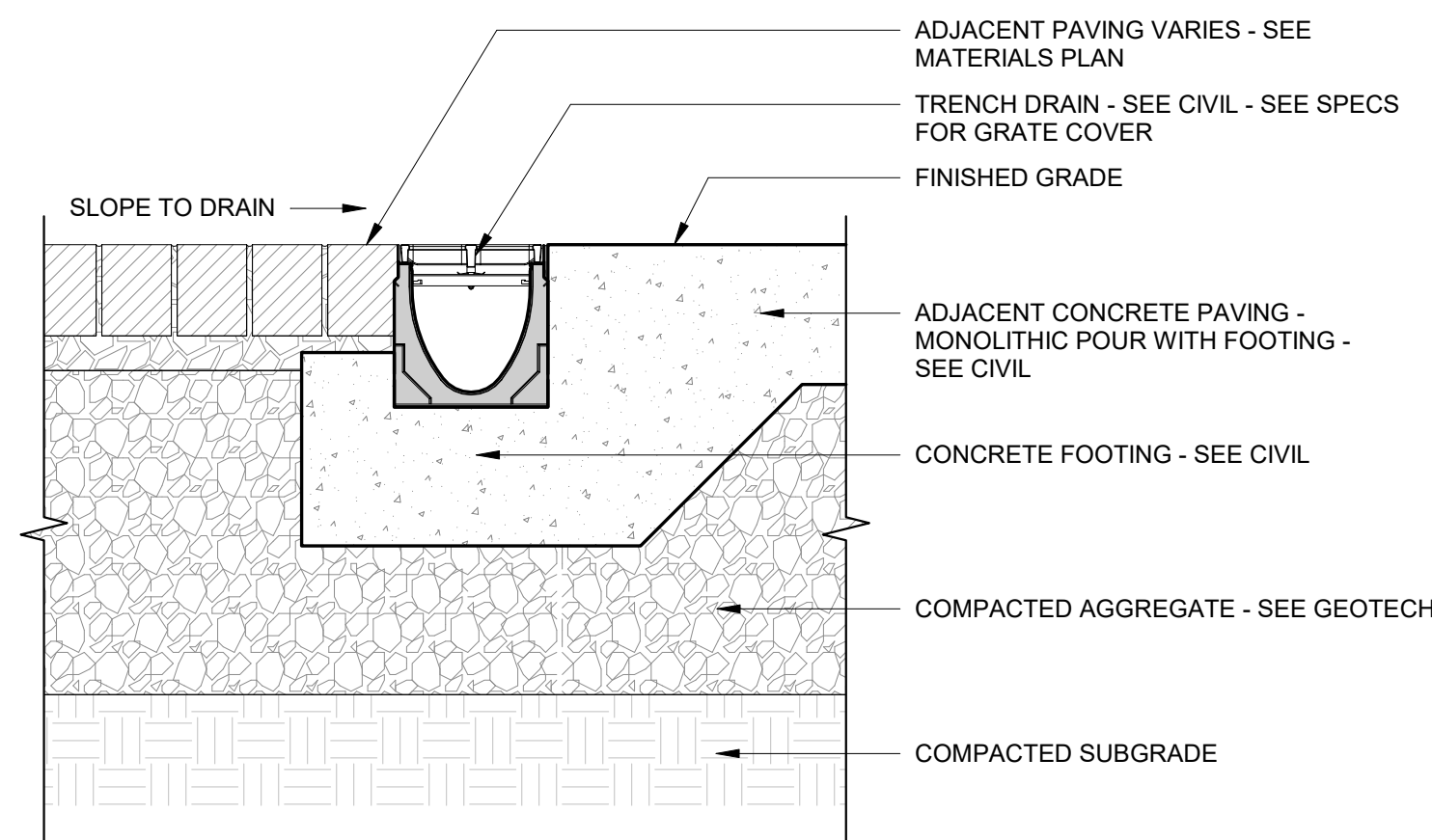
1 1/2" = 1'-0"



- NOTES:
- ENSURE NO LIPPAGE AT TRANSITION

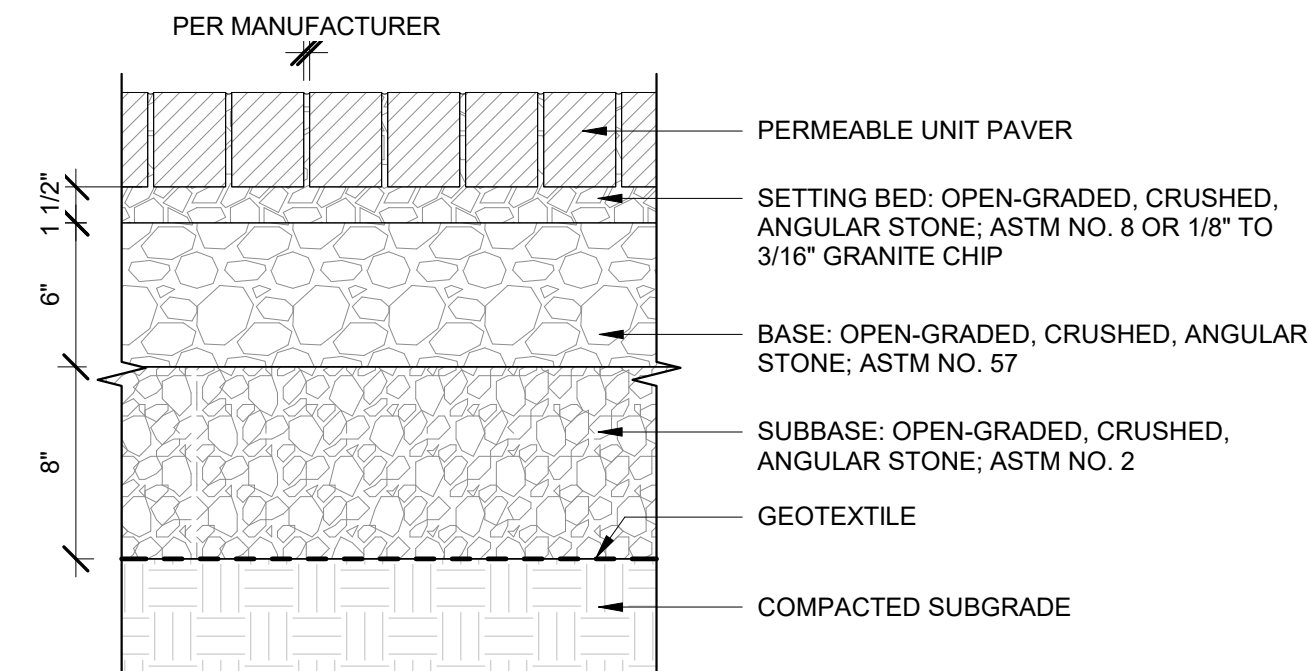
8 GRAVEL EDGE AT BUILDING FACE

1" = 1'-0"



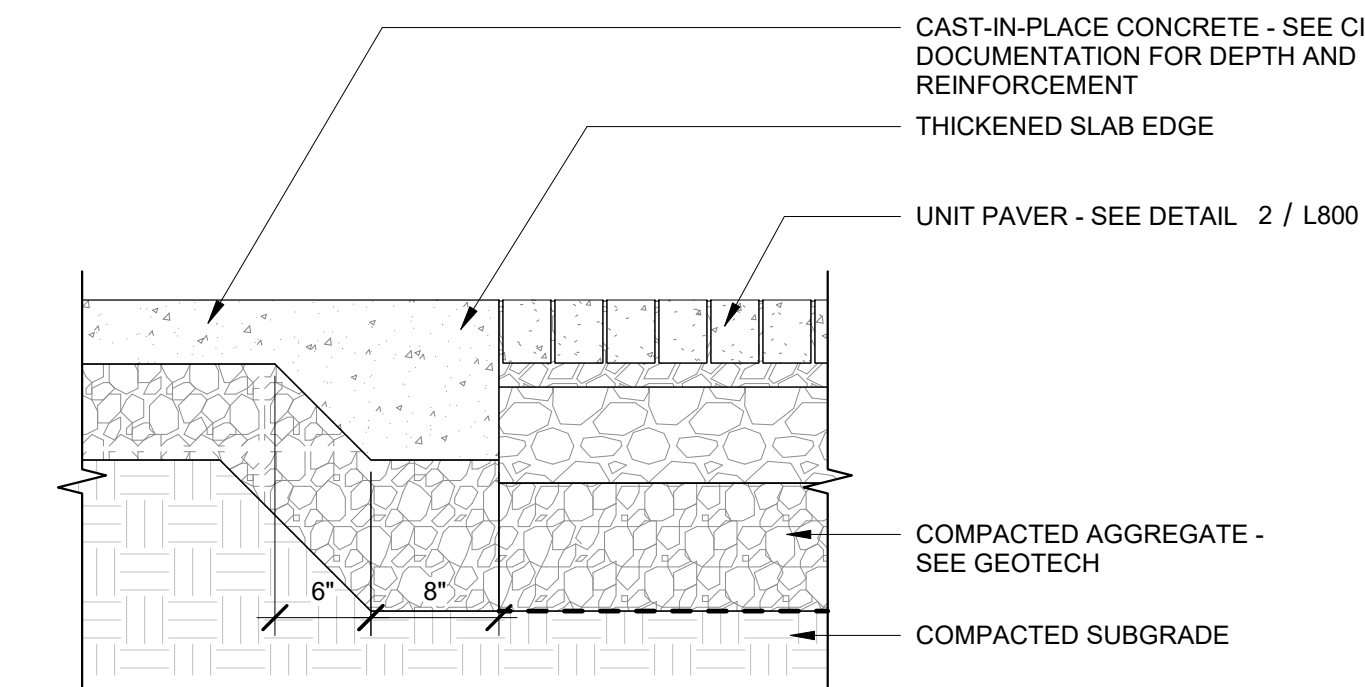
11 TRENCH DRAIN AT PAVING TRANSITION

1 1/2" = 1'-0"



3 UNIT PAVERS TYPE 3

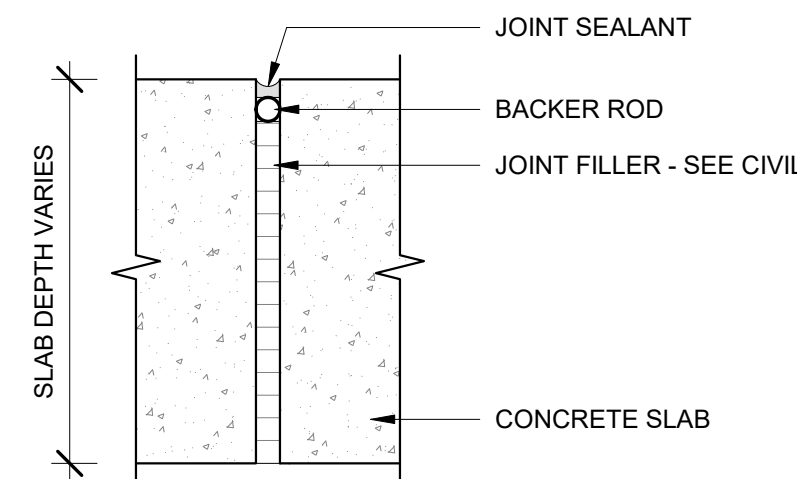
1 1/2" = 1'-0"



- NOTES:
- SEE CIVIL DOCUMENTATION FOR SPECIFICATIONS.
  - ENSURE NO LIPPAGE AT TRANSITION.

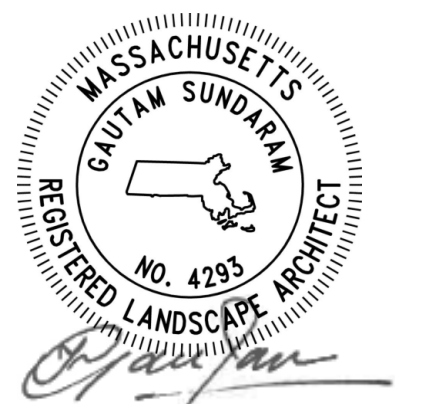
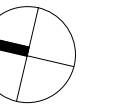
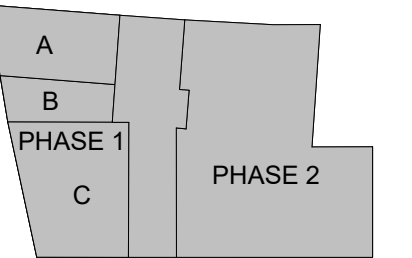
6 CAST-IN-PLACE CONCRETE AT UNIT PAVER

1" = 1'-0"



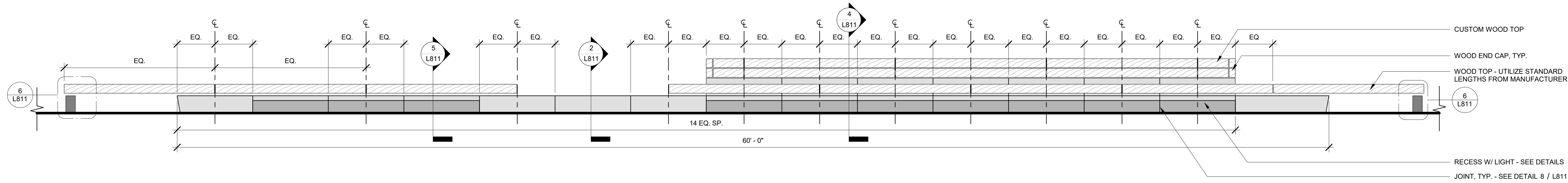
9 EXPANSION JOINT - TYPICAL

6" = 1'-0"

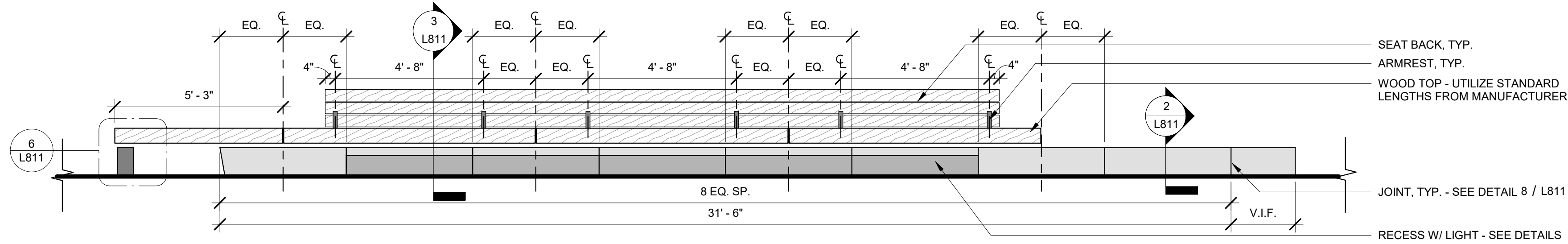




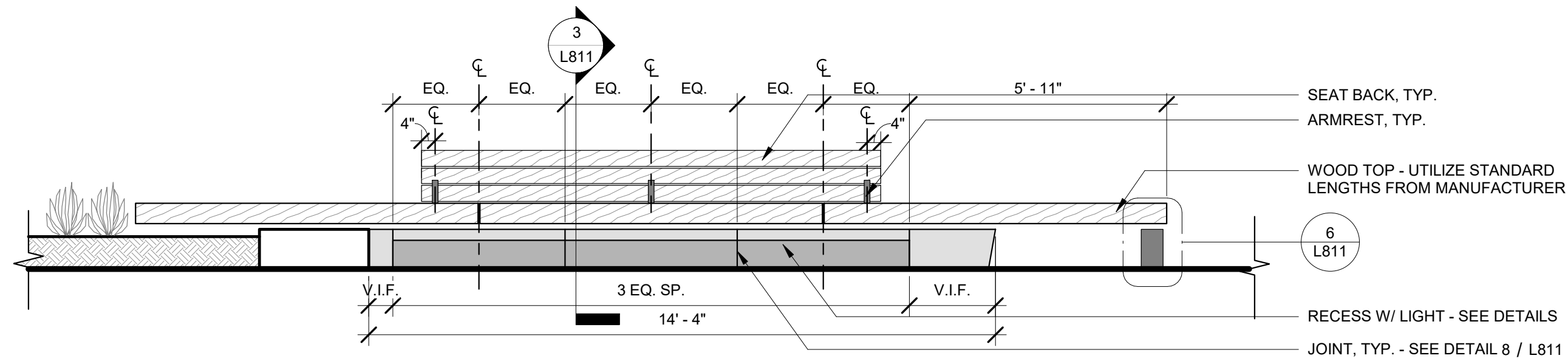
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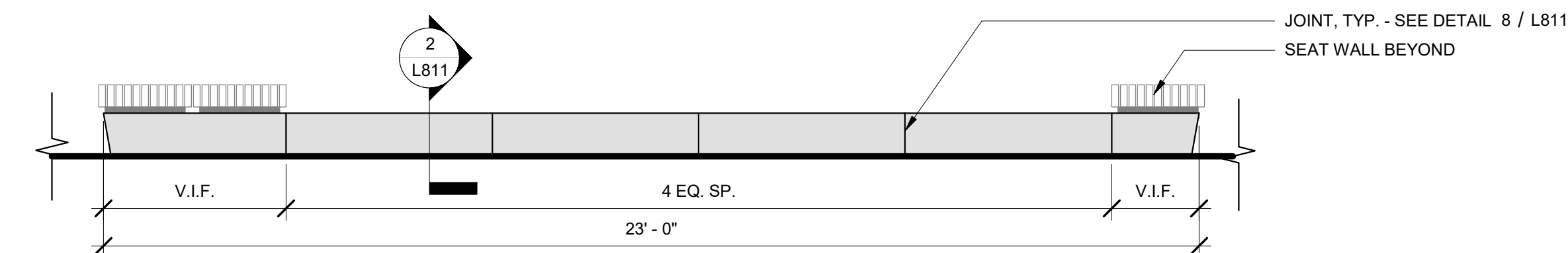
1 PLANTER A - SOUTH ELEVATION  
3/8" = 1'-0"



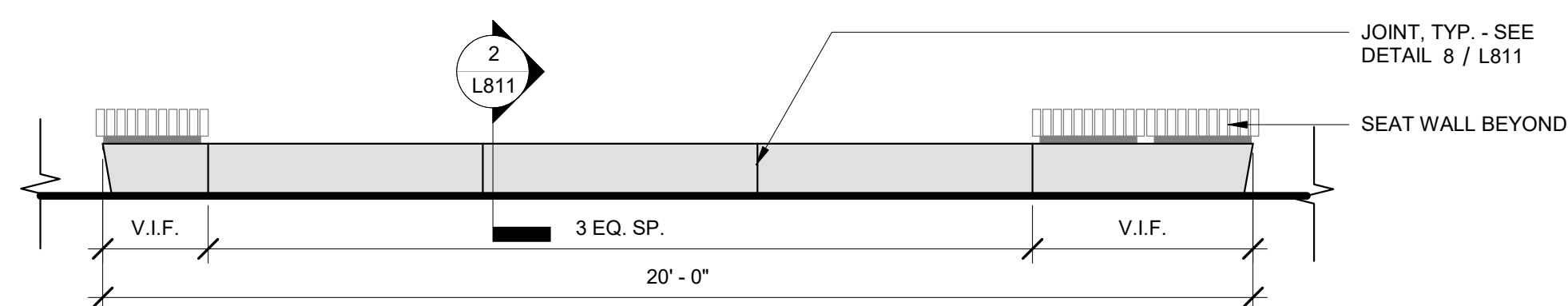
2 PLANTER A - NORTHEAST ELEVATION  
3/8" = 1'-0"



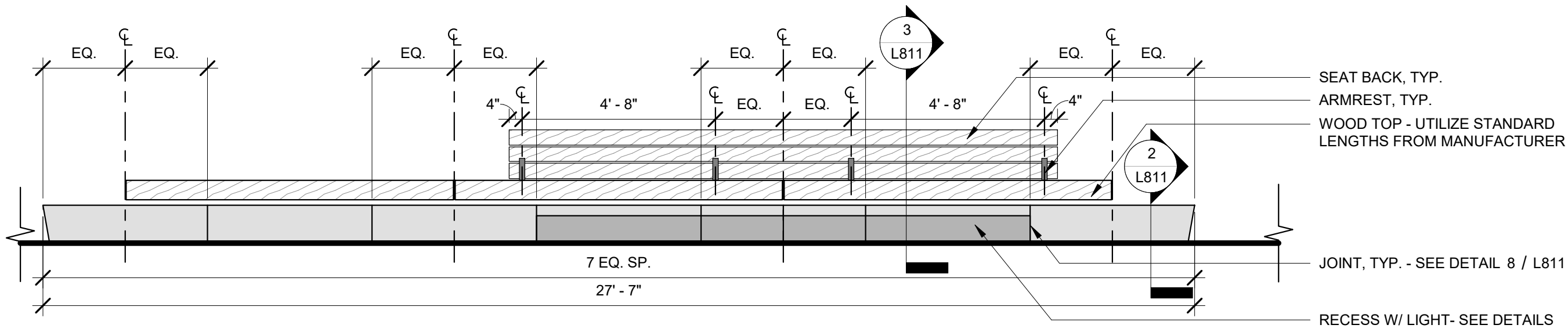
3 PLANTER A - NORTHWEST ELEVATION  
3/8" = 1'-0"



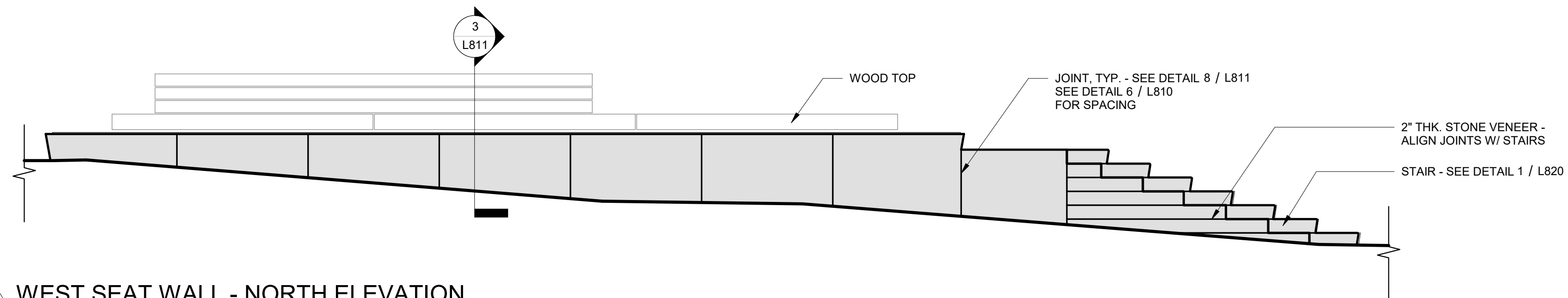
4 PLANTER A - EAST ELEVATION  
3/8" = 1'-0"



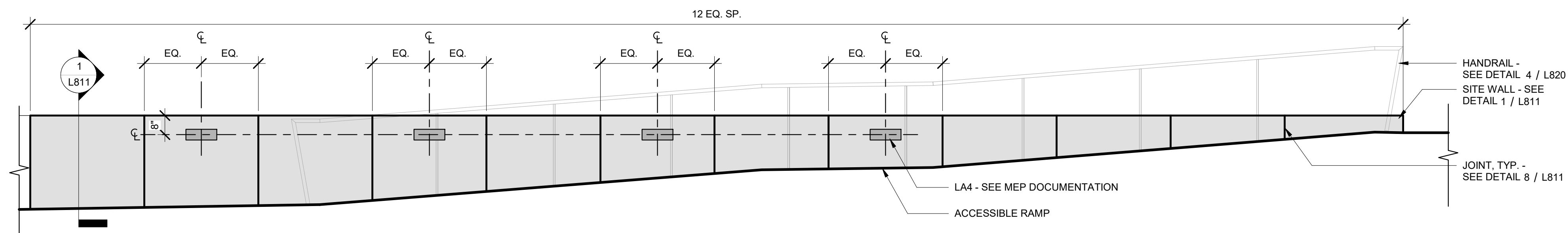
5 PLANTER A - WEST ELEVATION  
3/8" = 1'-0"



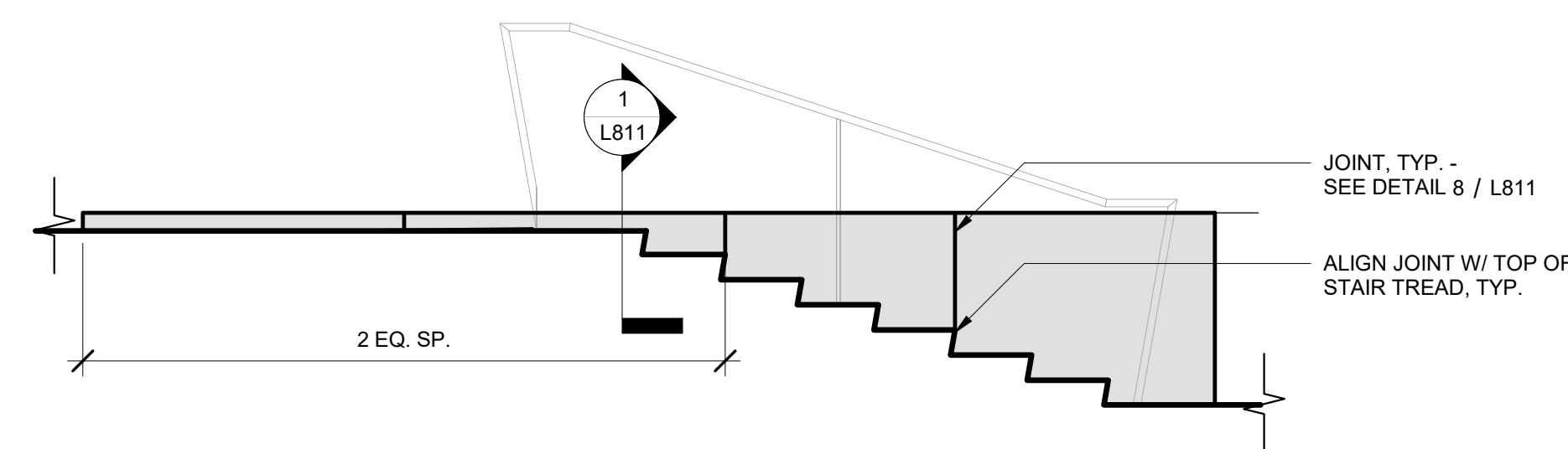
6 WEST SEAT WALL - SOUTH ELEVATION  
3/8" = 1'-0"



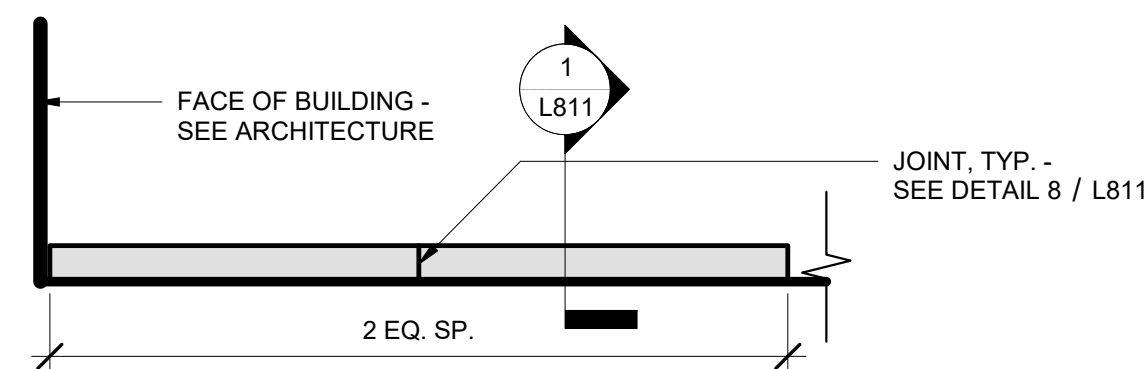
7 WEST SEAT WALL - NORTH ELEVATION  
3/8" = 1'-0"



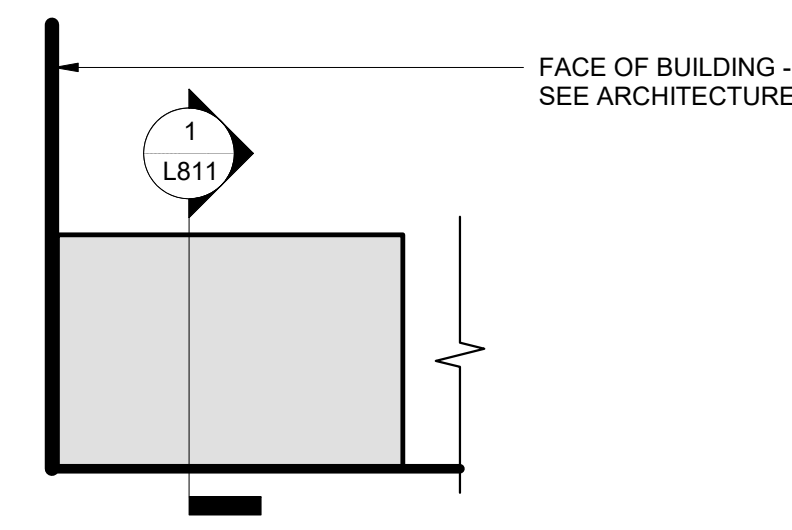
8 PLANTER B - SOUTH ELEVATION  
3/8" = 1'-0"



11 PLANTER C - NORTH ELEVATION  
3/8" = 1'-0"



12 PLANTER C - EAST ELEVATION  
3/8" = 1'-0"



9 PLANTER B - WEST ELEVATION  
3/8" = 1'-0"



10 PLANTER B - EAST ELEVATION  
3/8" = 1'-0"

13 PLANTER WALL 2 - WEST ELEVATION  
3/8" = 1'-0"

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Bohler Engineers  
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524 Walnut St. #330  
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816 945 4119

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Concord, MA 01742  
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RFS Engineering  
50 Milk Street  
Boston, MA 02109  
1 617 494 1464

MEPP  
RFS Engineering  
50 Milk Street  
Boston, MA 02109  
1 617 494 1464

PROJECT



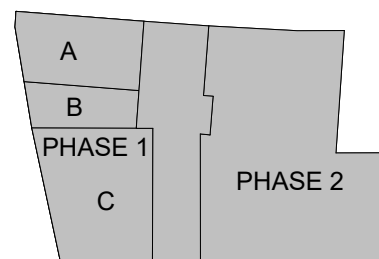
Davis Square Plaza



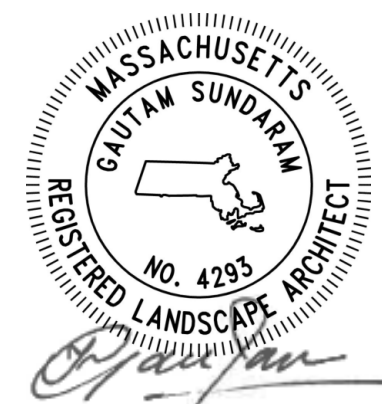
ASANA PARTNERS

1616 Camden Road Suite 210  
Charlotte, NC 28203

KEYPLAN



ISSUE CHART



WORK: ISSUE DATE  
Job Number 2206  
TITLE

DETAILS - SITE WALLS  
- ELEVATIONS

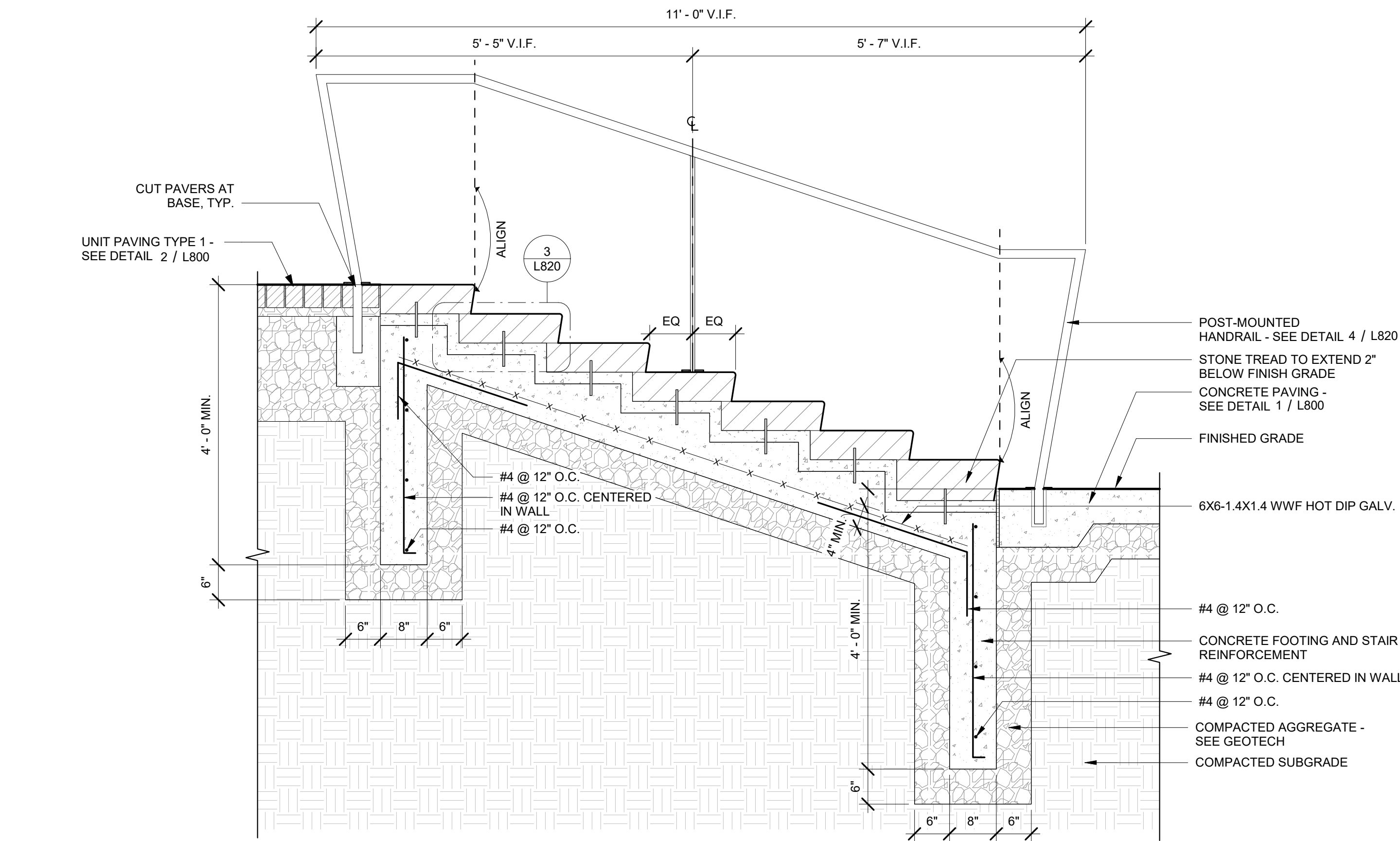
SHEET NUMBER

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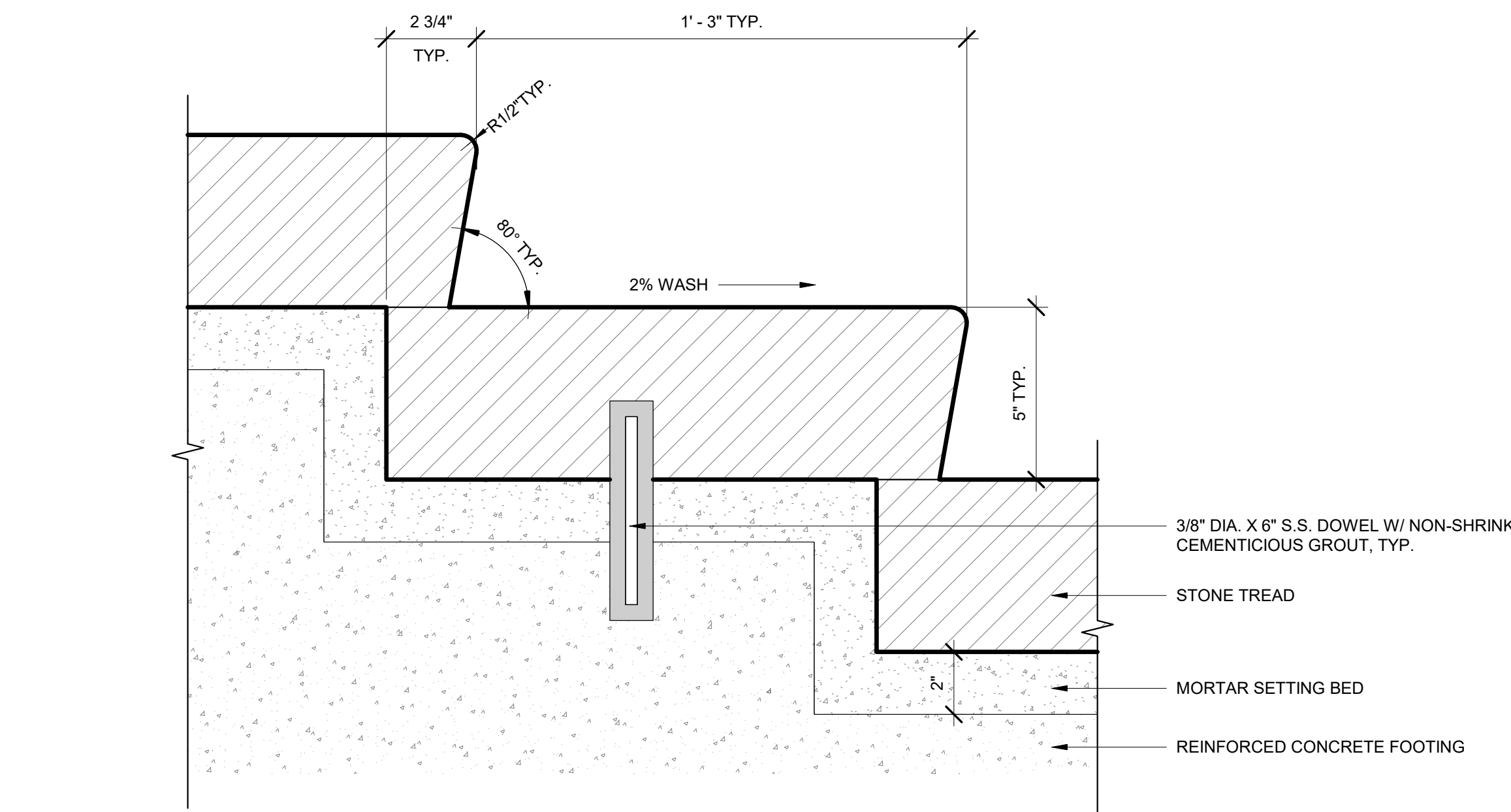


8 VERTICAL WALL JOINT - TYPICAL  
L811 6" = 1'-0"

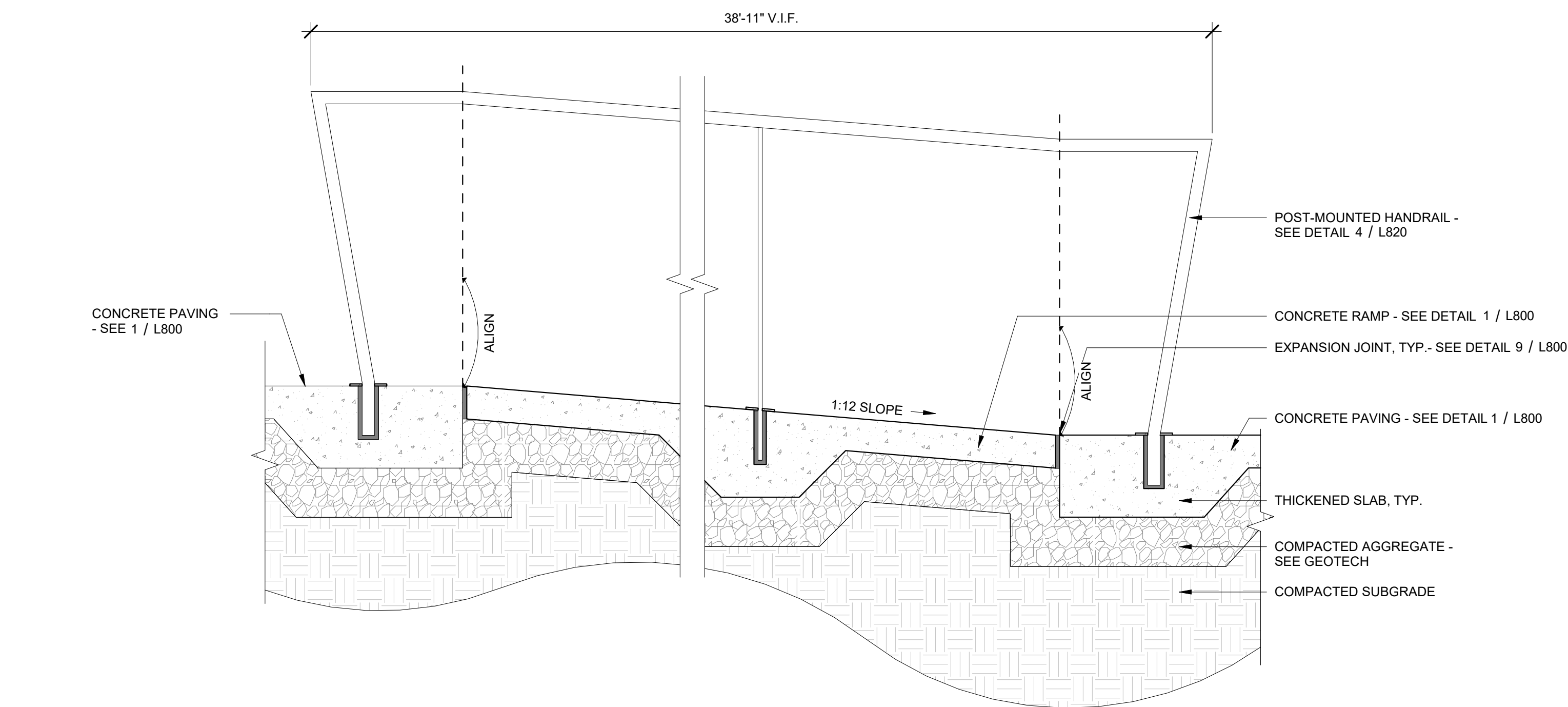




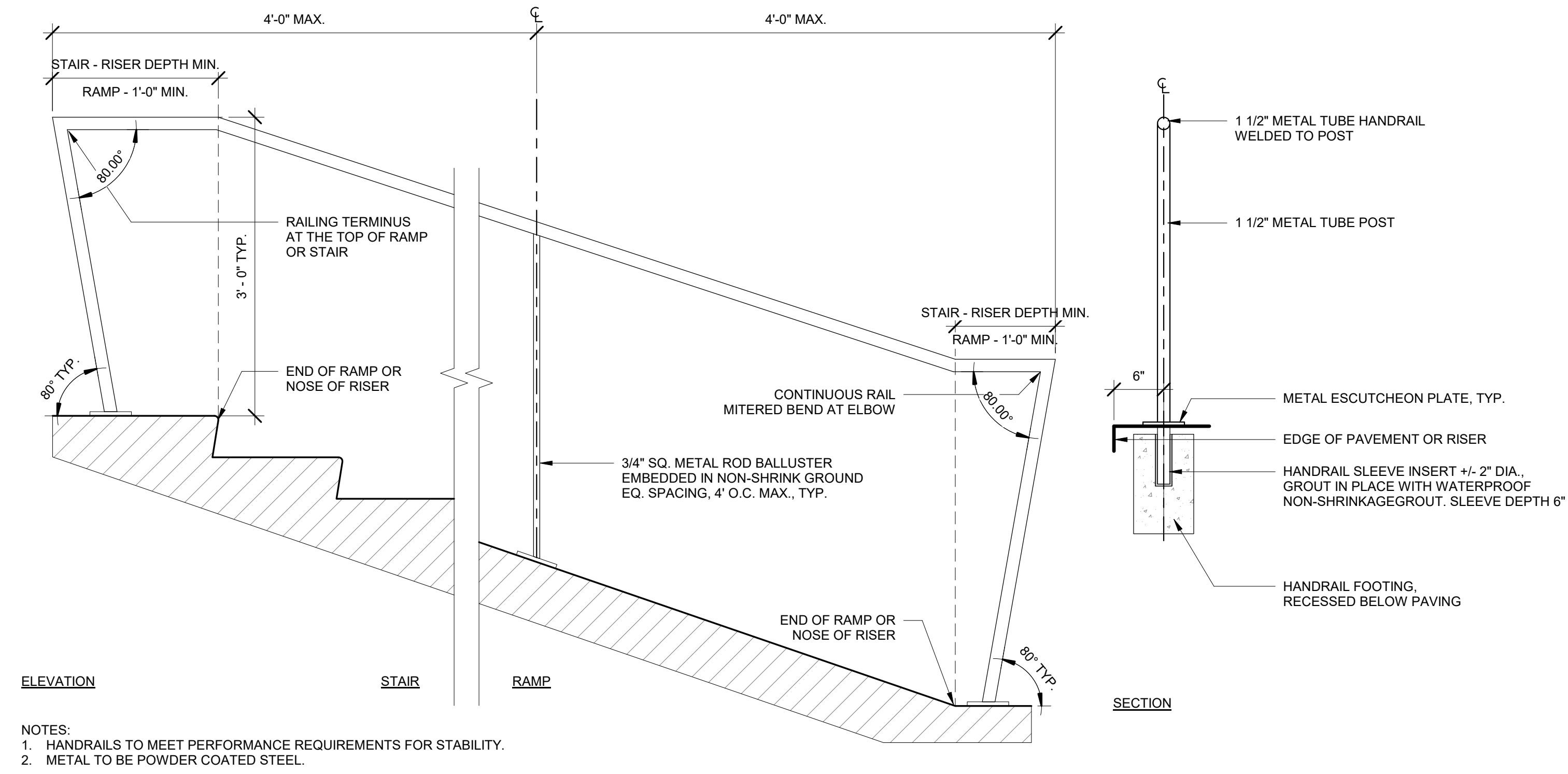
1 STAIR SECTION  
3/4" = 1'-0"



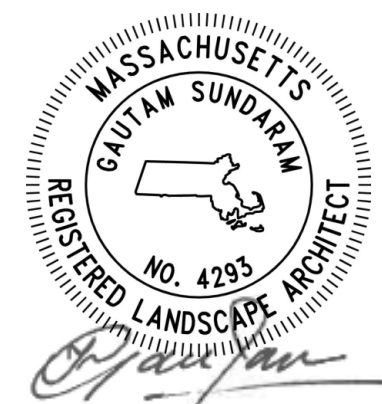
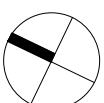
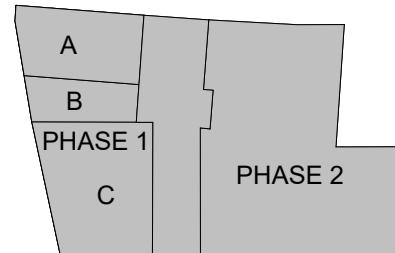
3 STAIR TREAD  
3" = 1'-0"



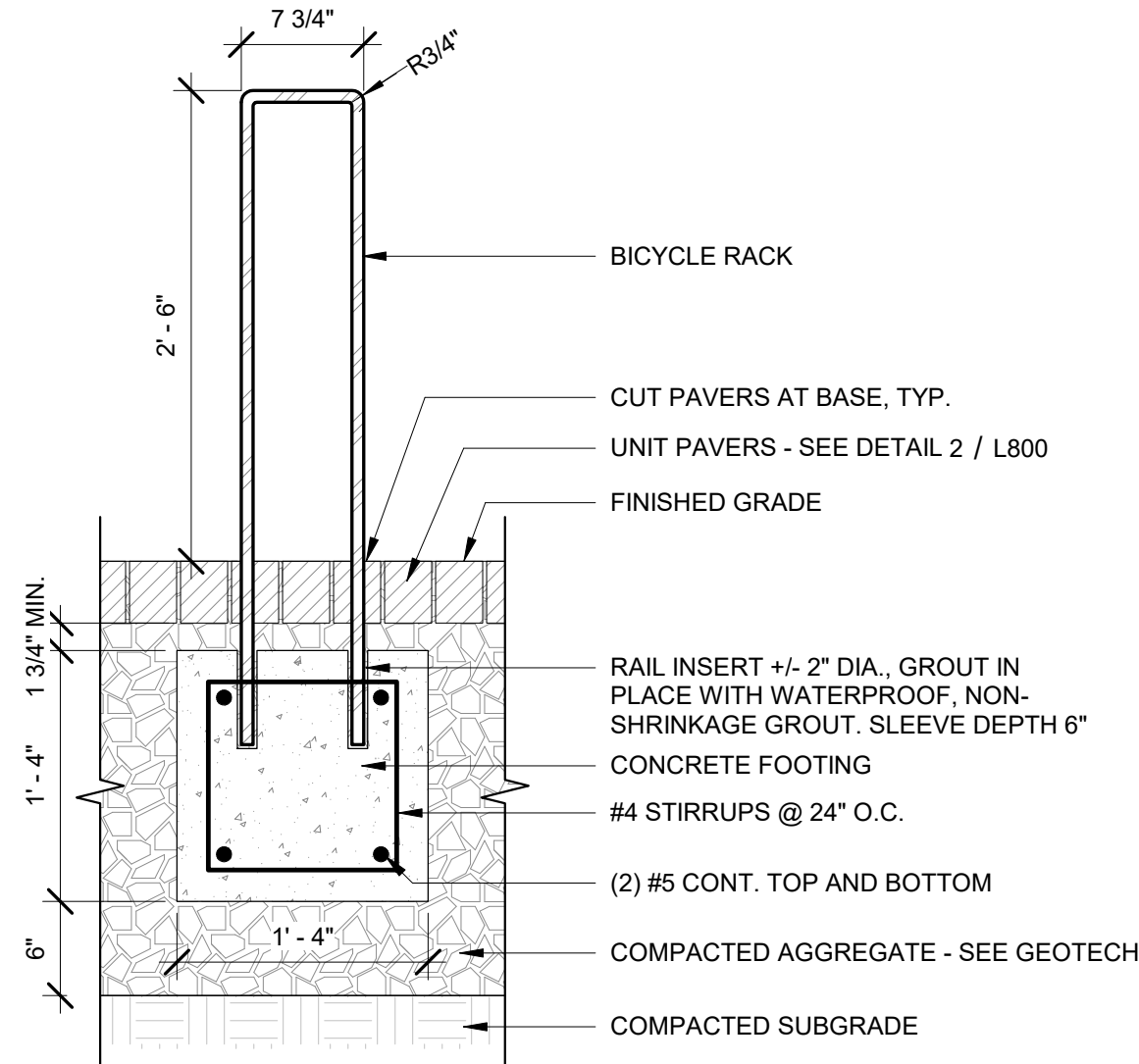
2 RAMP SECTION  
1" = 1'-0"



4 POST-MOUNTED HANDRAIL - TYPICAL  
1" = 1'-0"

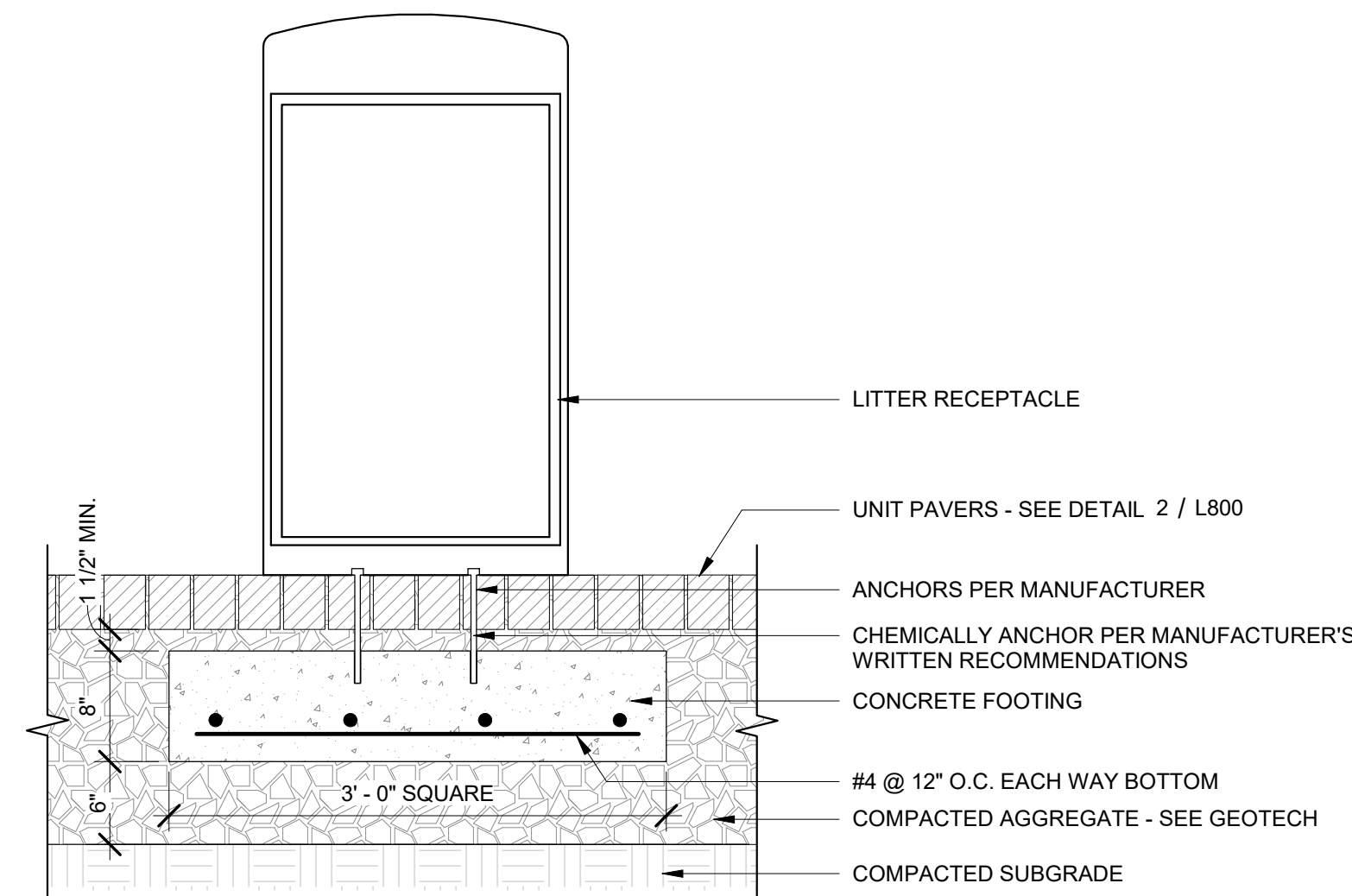






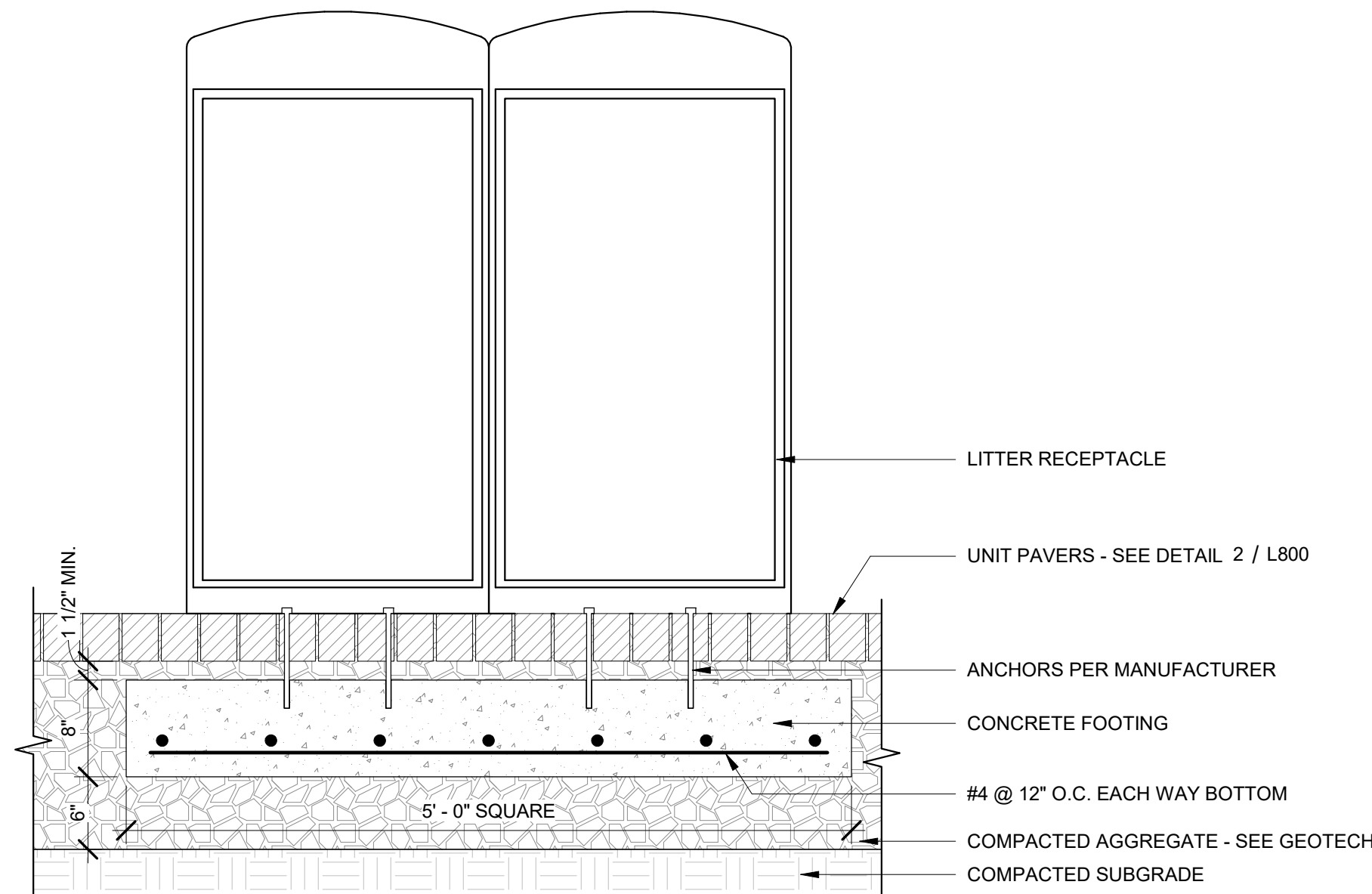
1 BICYCLE RACK - TYPICAL

1" = 1'-0"



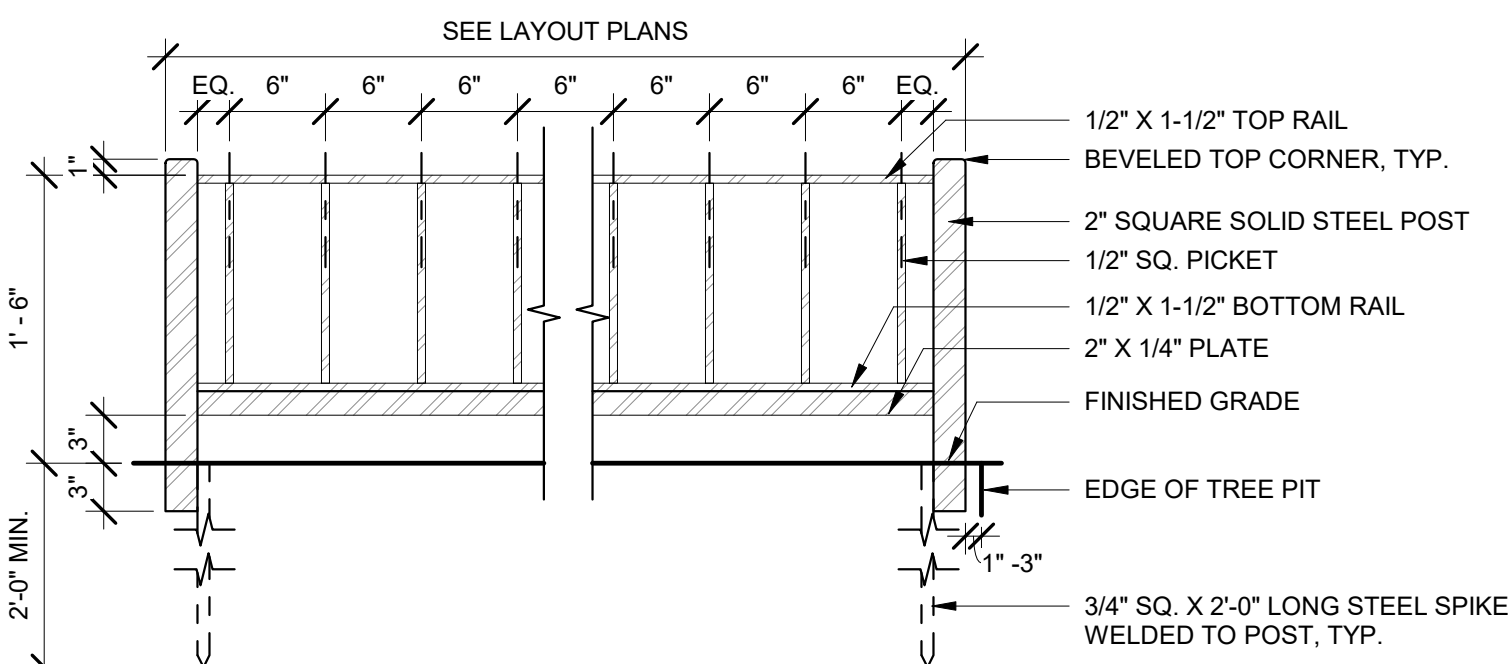
2 LITTER RECEPTACLE - TYPICAL

1" = 1'-0"



3 LITTER / RECYCLING COMPACTOR - TYPICAL

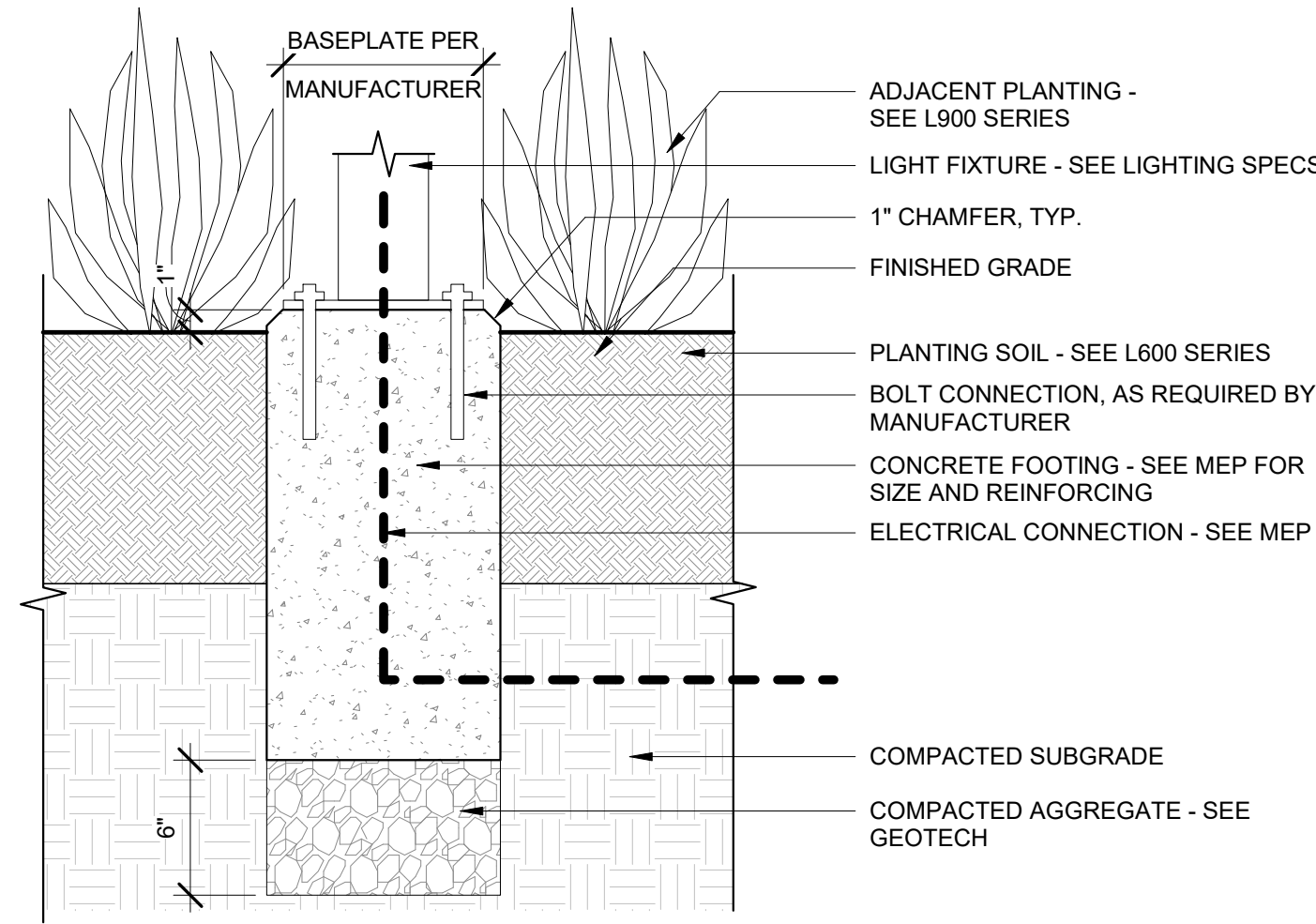
1" = 1'-0"



NOTES:  
1. ALL COMPONENTS SOLID STEEL WITH THREE SHOP APPLIED COATS OF PAINT, PER SPECIFICATIONS

4 TREE GUARD - TYPICAL ELEVATION

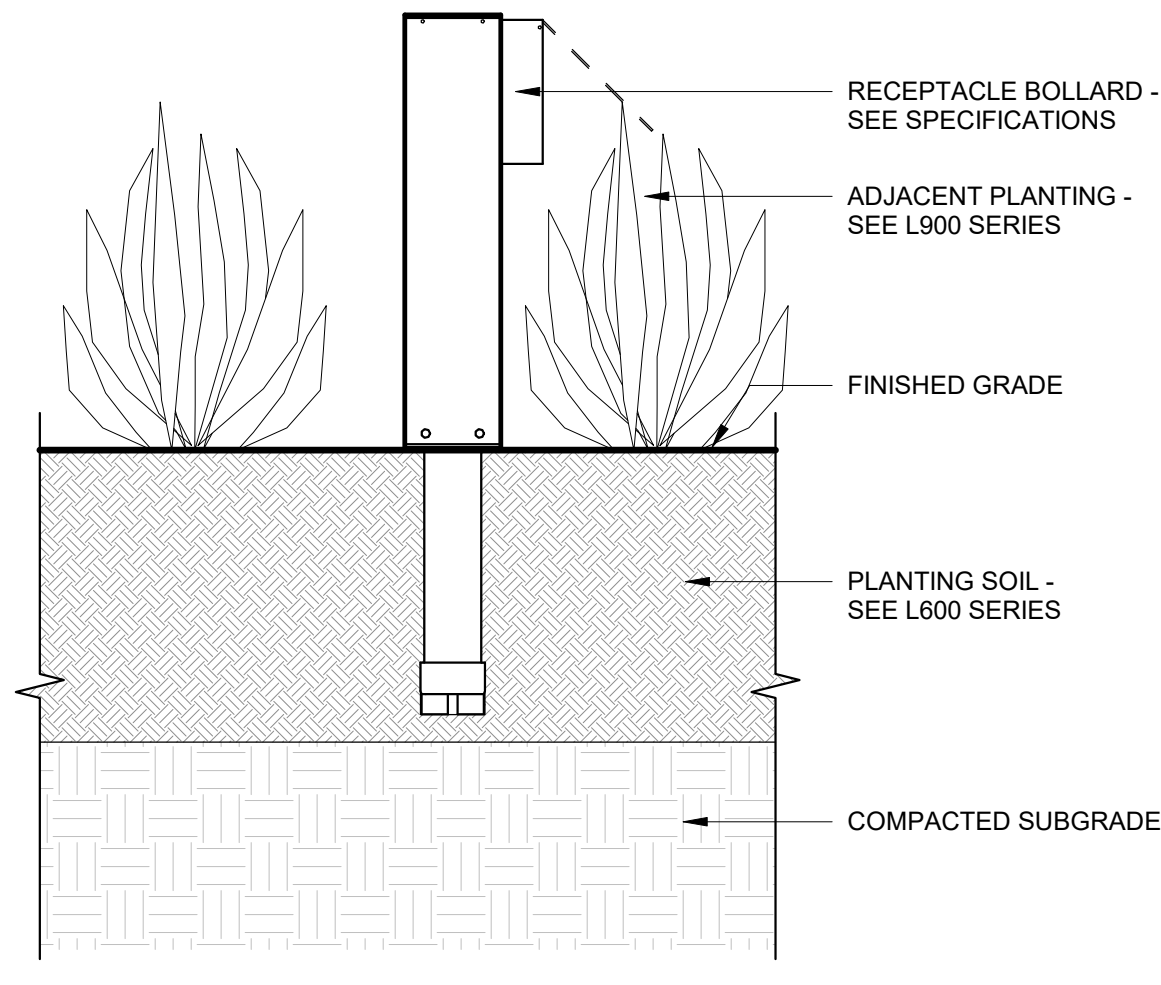
1" = 1'-0"



NOTES:  
1. SEE MEP DOCUMENTATION FOR ELECTRICAL CONNECTIONS AND CONDUIT LAYOUTS.  
2. ENSURE 6" CLR. FROM OUTSIDE EDGE OF FOOTING TO ANY SITE OBSTRUCTIONS, SUCH AS WALLS OR SIGNAGE.

5 WALL ACCENT LIGHT

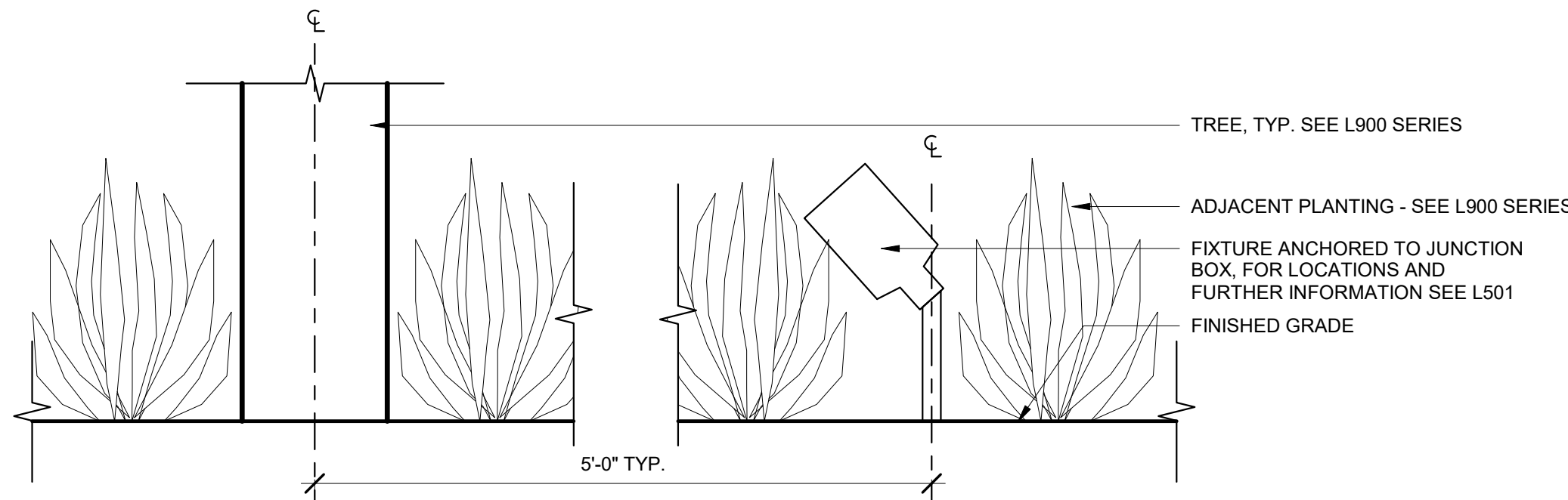
1 1/2" = 1'-0"



NOTES:  
1. SEE MEP DOCUMENTATION FOR ELECTRICAL CONNECTIONS AND CONDUIT LAYOUTS.  
2. ENSURE 18" CLR. FROM RECEPTACLE BOLLARD TO ANY SITE OBSTRUCTIONS, SUCH AS WALLS OR TREES.

6 RECEPTACLE BOLLARD IN PLANTING

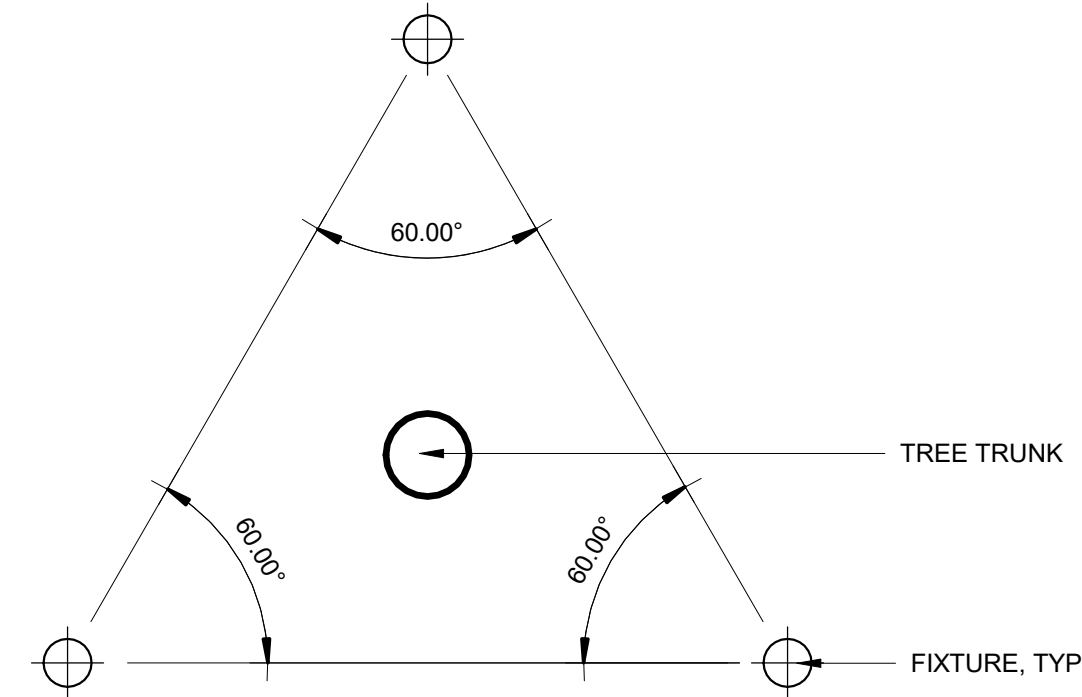
1 1/2" = 1'-0"



NOTES:  
1. SEE MEP DOCUMENTATION FOR ELECTRICAL CONNECTIONS AND CONDUIT LAYOUTS.  
2. SEE LIGHTING SPECIFICATIONS FOR MOUNTING HEIGHTS.

7 TREE ACCENT LIGHT

1 1/2" = 1'-0"



PLAN (NTS)

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1 617 494 1464

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### PROJECT



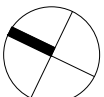
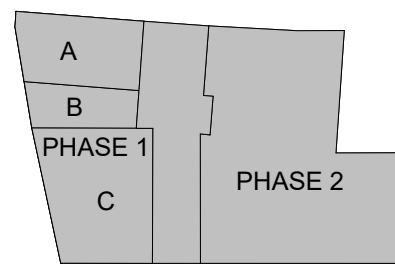
Davis Square Plaza



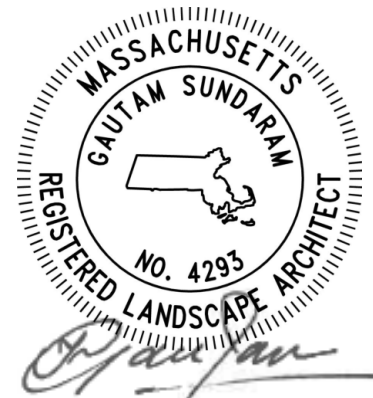
ASANA PARTNERS

1616 Camden Road Suite 210  
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### KEYPLAN



### ISSUE CHART



DATE 2206  
Job Number

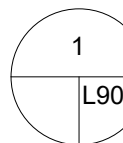
TITLE

DETAILS - SITE  
FURNISHINGS

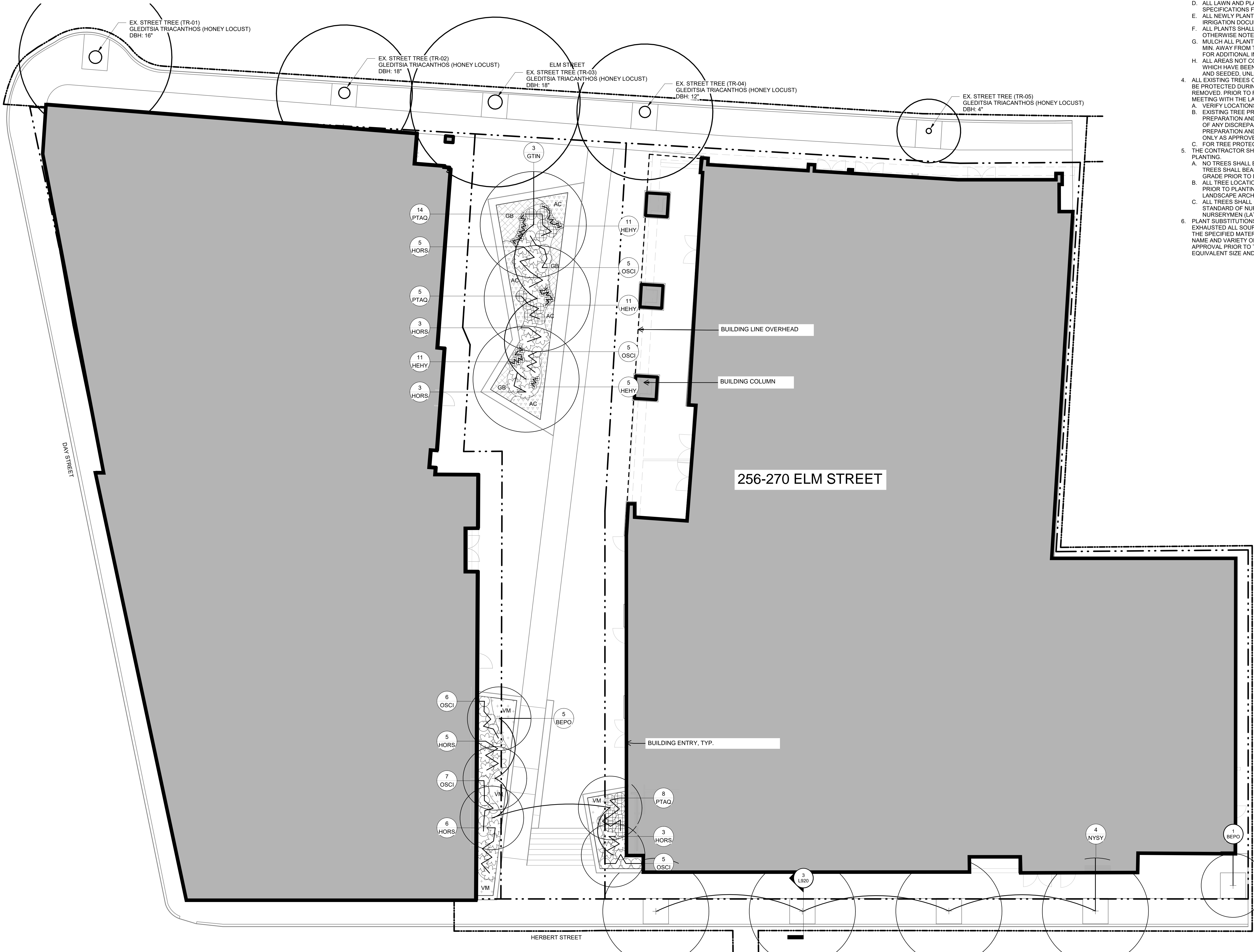
SHEET NUMBER

L830





1  
PLANTING PLAN  
1" = 10'-0"



PLANTING PLAN NOTES

1. THE CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL REMOVE ALL HARD LIMBS OF CLAY, STONES OVER 1" DIA. AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS, AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
3. PLANT QUANTITIES SHOWN ON PLANS TAKE PRECEDENCE OVER PLANT QUANTITIES PROVIDED IN PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN IN THE DRAWINGS.
  - A. ALL PLANT MATERIAL MUST BE REVIEWED AND APPROVED PRIOR TO ARRIVAL ON SITE IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - B. ALL PLANTS SHALL BE LAID OUT IN THE FIELD PER THE PLANS. LAYOUT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - C. ALL PLANTING AREA FINISH GRADES (TOP OF MULCH) SHALL BE 1" BELOW ADJACENT PAVED SURFACES UNLESS NOTED OR DIRECTED OTHERWISE.
  - D. ALL LAWN AND PLANTING AREAS SHALL RECEIVE TOPSOIL. REFER TO SPECIFICATIONS FOR SOIL DEPTH, TYPE AND PREPARATION REQUIREMENTS.
  - E. ALL NEWLY PLANTED AND LAWN AREAS SHALL BE IRRIGATED. REFER TO IRRIGATION DOCUMENTS.
  - F. ALL PLANTS SHALL BE BALLED IN BURLAP OR CONTAINER GROWN UNLESS OTHERWISE NOTED IN THE PLANTING SCHEDULE.
  - G. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" MIN. MULCH SHALL BE KEPT 1" MIN. AWAY FROM TRUNK OF ALL PLANT MATERIAL. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - H. ALL AREAS NOT COVERED BY BUILDINGS, STRUCTURES OR PAVEMENT AND WHICH HAVE BEEN GRADED OR OTHERWISE DISTURBED SHALL BE TOPSOILED AND SEEDED, UNLESS SHOWN OTHERWISE.
4. ALL EXISTING TREES OUTSIDE THE BUILDING AND PAVED AREAS SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION, UNLESS SPECIFICALLY DESIGNATED TO BE REMOVED. PRIOR TO REMOVAL, THE CONTRACTOR SHALL ARRANGE AN ON-SITE MEETING WITH THE LANDSCAPE ARCHITECT TO REVIEW THE CLEARING LIMIT LINES.
  - A. VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OF PLANT FITS.
  - B. EXISTING TREE PROTECTION MEASURES SHALL TAKE PRECEDENCE OVER SOIL PREPARATION AND PLANTING REQUIREMENTS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. WHERE A DISCREPANCY EXISTS, SOIL PREPARATION AND PLANTING WITHIN TREE PROTECTION MEASURES SHALL BE ONLY AS APPROVED OR DIRECTED BY THE LANDSCAPE ARCHITECT.
  - C. FOR TREE PROTECTION FENCING LAYOUT AND DETAILING, SEE CIVIL.
5. THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS IN THE FIELD PRIOR TO PLANTING.
  - A. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO ORIGINAL GRADE PRIOR TO DIGGING.
  - B. ALL TREE LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. TREE LOCATIONS ARE SUBJECT TO MODIFICATION BY LANDSCAPE ARCHITECT.
  - C. ALL TREES SHALL CONFORM TO GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD OF NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
6. PLANT SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE AND CHARACTER OF SPECIFIED PLANT.

LEGEND

- LIMIT OF WORK
- EXISTING TREE - SEE CIVIL FOR TREE PROTECTION PLAN AND DETAILS
- ⊕ PROPOSED TREE - SEE DETAIL 1 / L920
- ⊕ PROPOSED SHRUB - SEE DETAIL 5 / L920

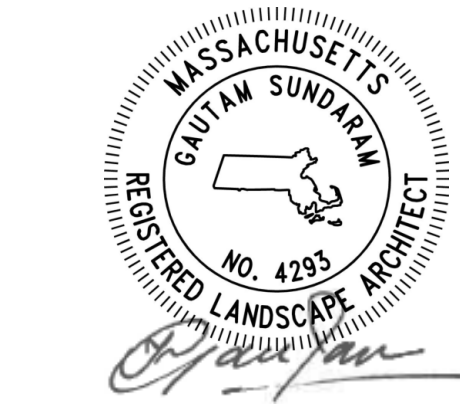
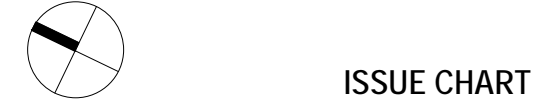
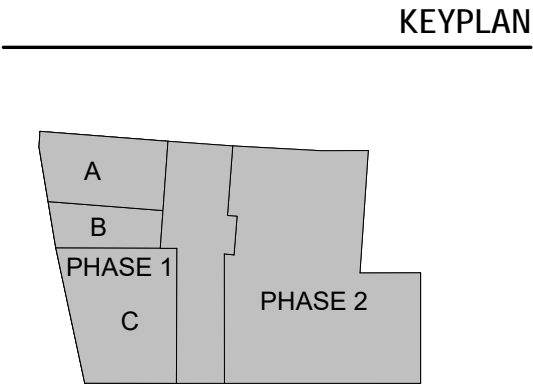
CONSTRUCTION SET - 02.22.23

PROJECT

Davis Square Plaza

ASANA PARTNERS

1616 Camden Road Suite 210  
Charlotte, NC 28203



DATE	ISSUE	NO.
2206		

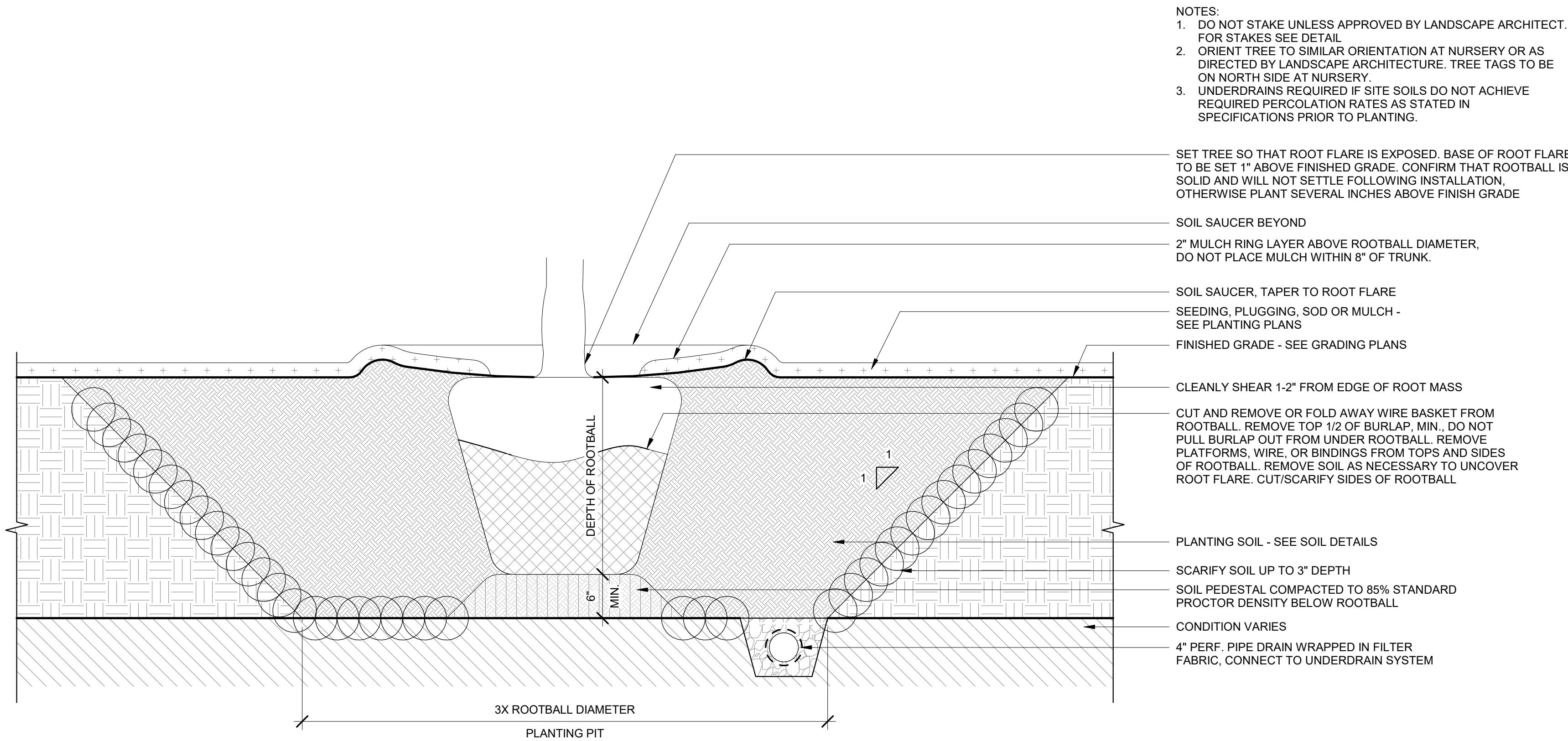
PLANTING PLAN

SHEET NUMBER

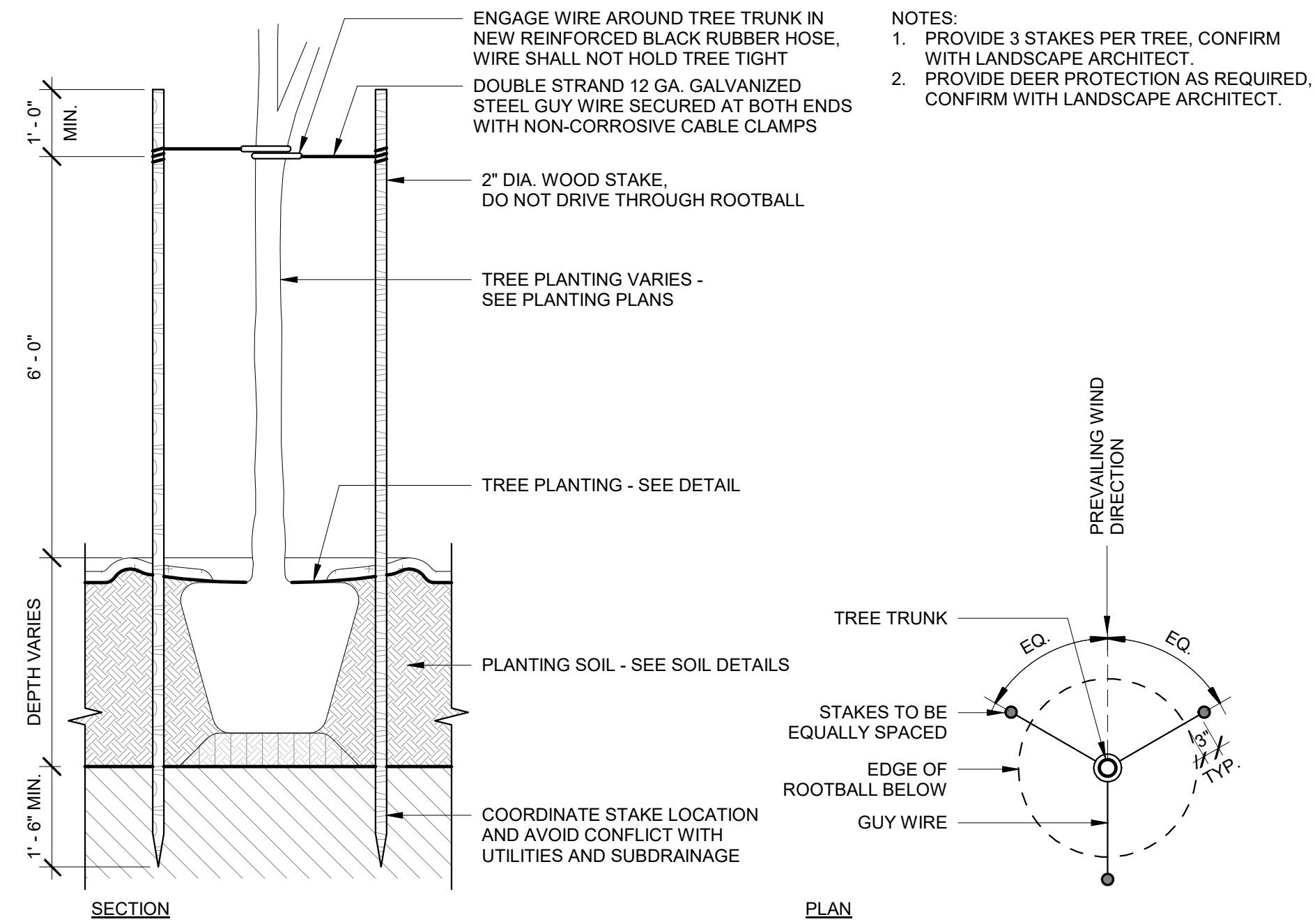
L900



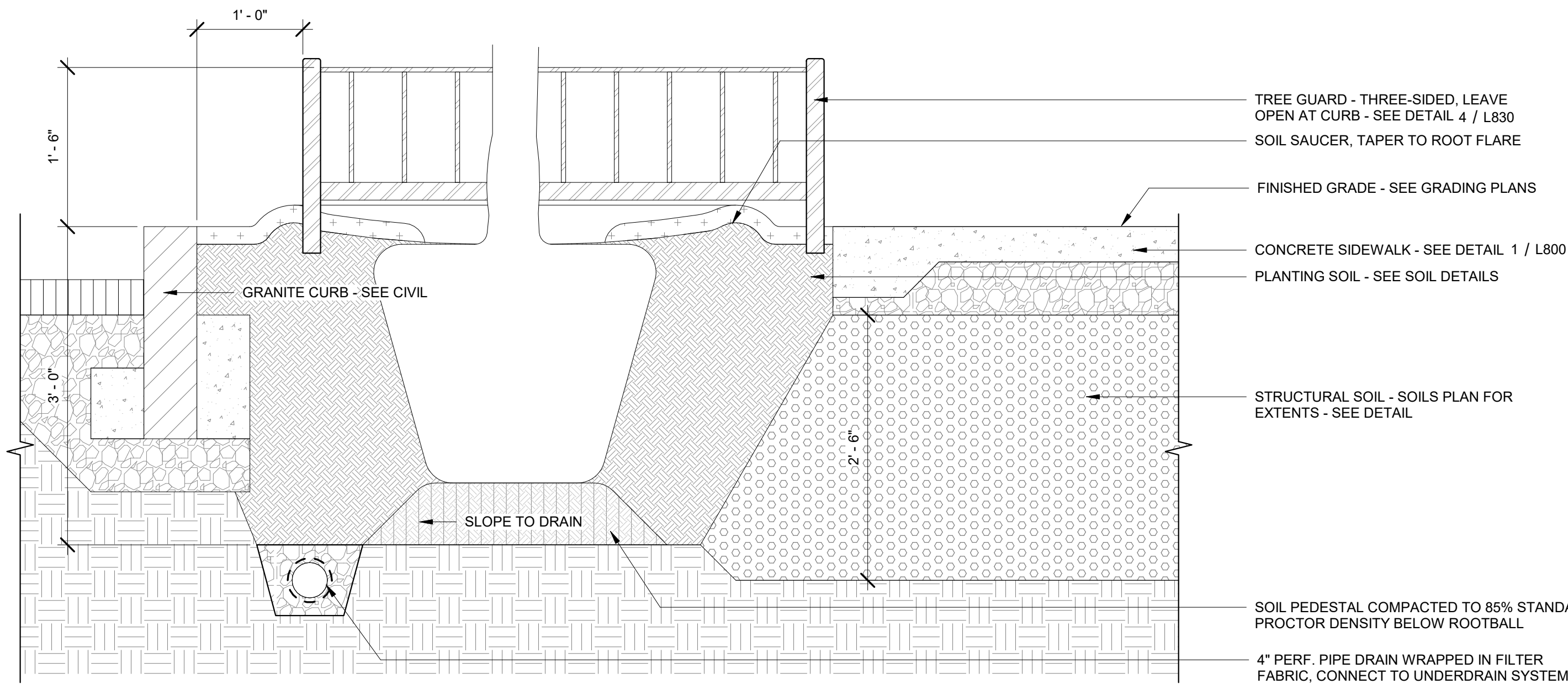
1 TREE PLANTING  
1" = 1'-0"



2 TREE STAKING  
1/2" = 1'-0"



3 TREE PIT SECTION AT STREET TREE  
1" = 1'-0"

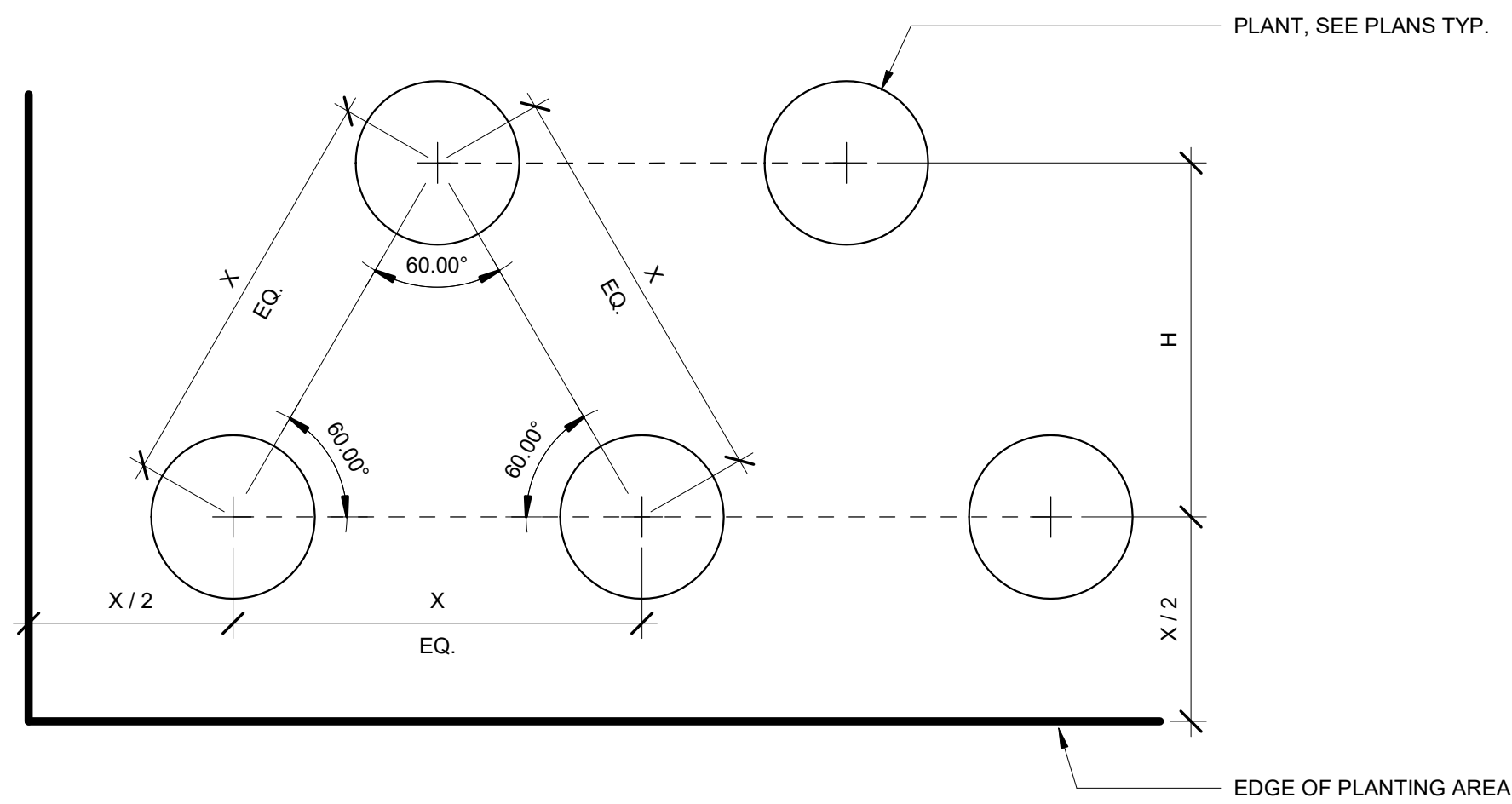


4 PLANT SPACING  
1" = 1'-0"

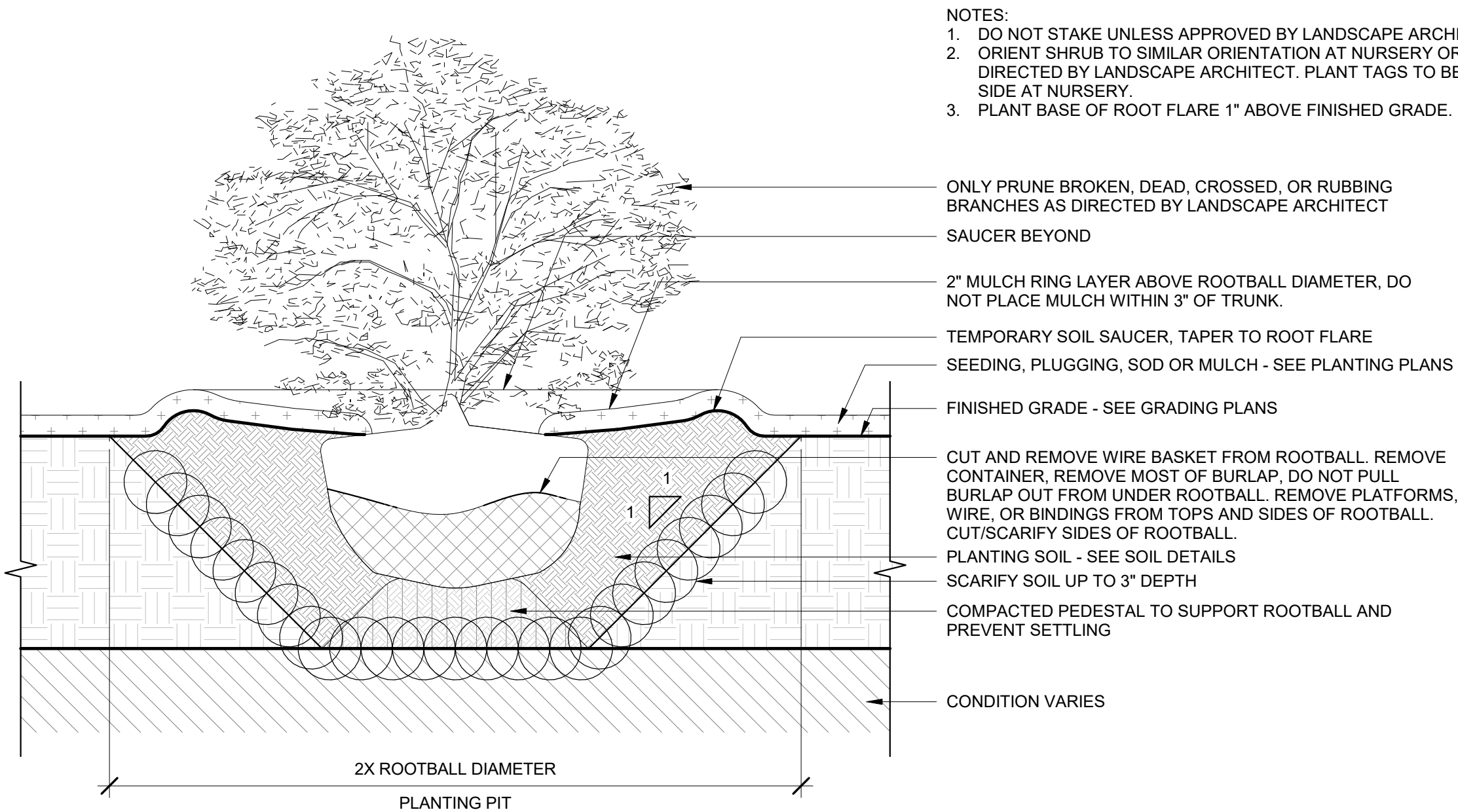
NOTES:

1. SPACE PLANTING EQUALLY IN THREE DIRECTIONS, IN ROWS, TO FORM TRIANGULAR PATTERN AS SHOWN.
2. REMOVE ALL WIRE, PLASTIC, TAGS, OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.
3. X = TYPICAL ON CENTER (O.C.) SPACING AS INDICATED IN PLANTING SCHEDULE.

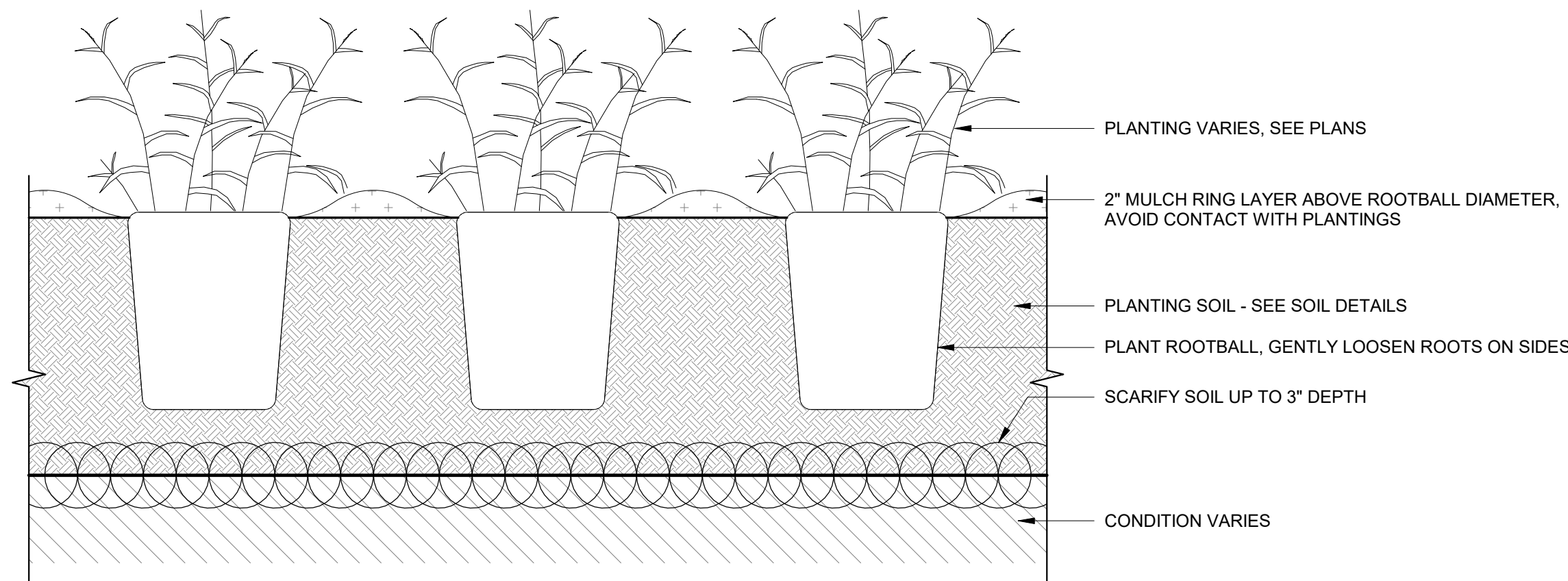
TRIANGULAR SPACING (X)	ROW SPACING (H)	NO. OF PLANTS PER SF
2"		36
3"		16
4"	3.5"	9
6"	5.2"	4.61
8"	6.93"	2.6
10"	8.66"	1.66
12" (1'-0")	10.4"	1.15
15"	13"	0.738
18"	15.6"	0.512
24" (2'-0")	20.8"	0.29
30"	26"	0.185
36" (3'-0")	30"	0.125
48" (4'-0")	3.46'	0.0725



5 SHRUB PLANTING  
1" = 1'-0"



6 GROUNDCOVER, PERENNIAL, AND GRASSES PLANTING  
1" = 1'-0"



PROJECT



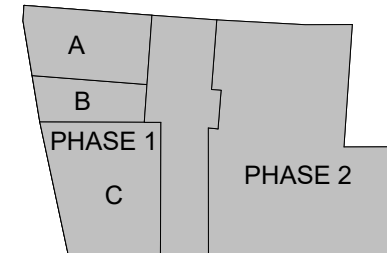
Davis Square Plaza



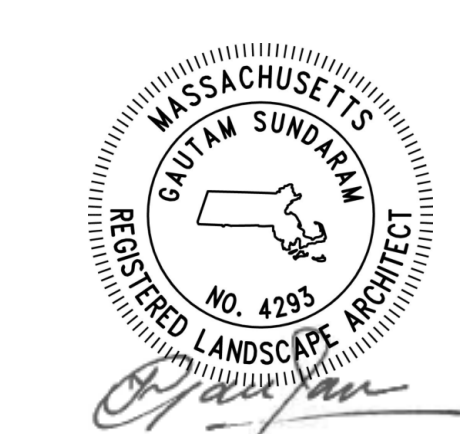
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KEYPLAN



ISSUE CHART



DATE 2206  
Job Number  
TITLE

DETAILS - PLANTING

SHEET NUMBER

L920



SCHEDULE - TREE PLANTING						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING	NOTES
BEPO	Betula populifolia	Grey Birch	3" Cal.	6	NA	B+B, Single-Stem
GTIN	Gleditsia triacanthos var. inermis	Imperial Honeylocust	3" Cal.	3	NA	B+B
NYSY	Nyssa sylvatica 'Tupelo Tower'	Black Gum - Tupelo Tower	3" Cal.	4	NA	B+B

SCHEDULE - UNDERSTORY PLANTING						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING	NOTES
HEHY	Helleborus x hybridus	Hybrid Hellebores	#1	52	AS SHOWN	
HORS	Hosta 'Royal Standard'	Royal Standard Hosta	#2	26	AS SHOWN	
OSCI	Osmunda cinnamomea	Cinnamon Fern	#2	28	AS SHOWN	
PTAQ	Pteridium aquilinum	Bracken Fern	#2	18	AS SHOWN	

SCHEDULE - GROUNDCOVER PLANTING						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING	NOTES
AC	Asarum canadense	Canadian Wild Ginger	4" POT	144	12" O.C.	APPROX. QUANTITIES PROVIDED
GB	Gaylussacia baccata	Black Huckleberry	4" POT	122	12" O.C.	APPROX. QUANTITIES PROVIDED
VM	Vinca minor	Periwinkle	4" POT	148	12" O.C.	APPROX. QUANTITIES PROVIDED

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Boston, MA 02111  
1 1-508-273-8481

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Bohler Engineers  
45 Franklin Street  
Boston, MA 02110  
1 617-478-0300

LANDSCAPE CONSULTANT  
MCLV  
524 Walnut St. #330  
Kansas City, MO 64106  
816-945-4119

SUSTAINABILITY CONSULTANT  
The Green Engineer  
23 Bradford Street  
Concord, MA 01742  
1 978-341-5462

STRUCTURAL  
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50 Milk Street  
Boston, MA 02109  
1 617-494-1464

MEP  
RFS Engineering  
50 Milk Street  
Boston, MA 02109  
1 617-494-1464

PROJECT



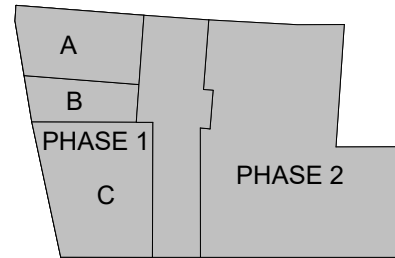
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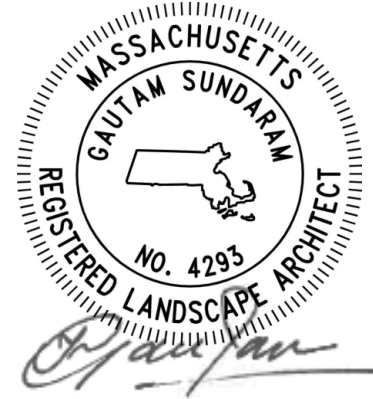
ASANA PARTNERS

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Charlotte, NC 28203

KEYPLAN



ISSUE CHART



ISSUE	DATE
Job Number	2206
TITLE	

PLANTING SCHEDULE

SHEET NUMBER

L930